

AGENDA
CITY OF BERLIN PLAN COMMISSION
TUESDAY JUNE 30TH, 2020 6:00 P.M.
CITY HALL COUNCIL CHAMBERS
CITY OF BERLIN, WI

- 1) Call meeting to order - Roll Call
- 2) Public Participation
- 3) Approval of Minutes –Plan Commission Meeting December 23rd, 2019
- 4) Review and discuss site plan for TheadaCare for parcel 206-0187-0200
Recommendation: Accept the site plan as presented with the recommendations from City Engineer
- 5) Review and discuss City of Berlin Official Street Map in regards to Kettle Street and Proposed CSM
Recommendation: Action if necessary
- 6) Rezone Request for parcel 206-01275-0000, 206-01277-0000, 206-01763-0000 from R-1 to A-1
Recommendation: Review and schedule public hearing for next plan commission meeting.
- 7) Review and discuss proposed chicken ordinance amendments
Recommendation: Review and recommend to Common Council
- 8) Review and discuss proposed daycare ordinance amendments
Recommendation: Review and recommend to Common Council
- 9) Old Business
- 10) New Business
- 11) Next meeting date –July 28th, 2020
- 12) Adjourn

In adherence to the City of Berlin Public Meeting Participation Policy, public participation will be allowed under each agenda item at the discretion of the presiding officer. Attendees must register their intention to participate on either a general comments section or a specific agenda item prior to the meeting by filling out a Registration Card, which can be obtained from the Internet, City Clerk's office or in the City Hall Council Chambers at the podium. Registration Cards should be turned in prior to the meeting to either the presiding officer or City Clerk.

PLEASE CONTACT LINDSEY IF YOU CANNOT ATTEND - (920) 361-5156

**CITY OF BERLIN PLAN COMMISSION MINUTES
DECEMBER 23RD, 2019
CITY OF BERLIN
BERLIN, WISCONSIN**

The December 23rd, 2019 City Plan Commission meeting was called to order at 6:00 p.m. by Mayor Schramer. Roll call present were: Mayor Schramer, Ed Marks, Bobbie Erdmann, Dave Secora and Mary Kubiak. Also present was Attorney Chier and Lindsey Kemnitz.

First item on the agenda was approval of the November 26th, 2019 Plan Commission minutes. Secora moved to approve the November 26th, 2019 Plan Commission minutes as corrected. Kubiak seconded the motion, which was carried by a voice vote.

Second item on the agenda was public hearing for River Frontage Setbacks and Shoreland Zoning Ordinance. The Mayor opened the public hearing at 6:03pm. He asked for anyone to speak for and against three times. No one was in the audience. The public hearing was closed at 6:04pm. Secora asked if variances would be allowed for section 82-25(2)(a)(1)(e) if does not meet the requirements. Kemnitz stated they would be allowed to apply for a variance. The Mayor mentioned the setback requires in section 82-25(2) would reduce the amount of buildable lots along the river. Erdmann made a motion to change the ordinance to have a 40 foot setback for R-1 and R-2 zoning and 10 feet for other zoning districts. Kubiak seconded the motion, which was carried by a voice vote. Erdmann made a motion to recommend the ordinance to Common Council as changed. Kubiak seconded the motion, which was carried by a voice vote.

Next meeting date is January 28th, 2020.

There was no old or new business.

Secora moved to adjourn at 6:14p.m. Marks seconded the motion, which carried by voice vote.

Lindsey Kemnitz, Community Development Director



107 Parallel Street
Beaver Dam, WI 53916
920-356-9447
kunkelengineering.com

May 28, 2020
Revised June 24, 2020

Ms. Lindsey Kemnitz, Community Development Director
City of Berlin
108 N. Capron Street
Berlin, WI 54923

VIA EMAIL ONLY

RE: ThedaCare Berlin Emergency Department
Building Addition Site Plan Review

Dear Ms. Kemnitz:

Our office is in receipt of site plans for the proposed building addition(s) and renovations for the ThedaCare Medical Center – Emergency Department Addition. The proposed project consists of the construction of a new Emergency Department, an adjoining ambulance garage, a new emergency generator building and the reconfiguration of the existing parking lot, including relocation of the helipad. The plans and associated documents also include provisions for stormwater management, utilities, site lighting and erosion control BMPs. The documents, as submitted and reviewed in conjunction with this project, include:

- Existing Site Map & Survey (3-pages) – Omni Associates
- Stormwater Management Report – Hammel, Green and Abrahamson, Inc. (HGA)
- Site Civil Site Plans (15-sheets) – HGA
- Lighting Site Plan (1-sheet) – HGA
- Lighting Photometric Plan (1-sheet) HGA
- "AutoTurn" Emergency Entrance Diagram (1-sheet) HGA

Please note that signage plans were not included within the site plan submittal package and will be required for review and approval prior to their installation. Similarly, landscape plans have not been included within the site plan submittal package and will be required to be submitted for review as well. HGA, the project Architectural design firm, has indicated within the context of a June 11, 2020 email that Boldt Contractors Inc., the General Contractor will be responsible for the submittal of the landscape and signage plans.

PROJECT DESCRIPTION

The ThedaCare Medical Center is located at 225 Memorial Drive in the City of Berlin. The Medical Center site is approximately 37-acres in size and is bounded by Memorial Drive, Center Street, Oak Street and Saint Stanislaus Drive.

The proposed improvements include the construction of a 7,945 SF building addition, intended to serve as the new Emergency Room, proposed to be constructed at the location of the existing ambulance garage. A new 1,200 SF ambulance garage will also be constructed adjacent to the proposed Emergency Room addition. The existing parking lot will be reconfigured to better accommodate the new emergency room entrance and the heliport relocated closer to Memorial

Drive. A small, 459 SF single story accessory building will also be constructed approximately 77- feet north of the existing Utility Plant and house the new electrical generator.

Ancillary improvements include the addition of new stormwater management facilities, new surface lighting and the relocation of both the on-site sanitary sewer and watermain serving the Medical Center. The existing parking lot will be reconfigured to better serve the new Emergency Room.

The project is scheduled to start construction in August of this year and be complete by May 2021.

SITE IMPROVEMENTS

The proposed 7,945 SF building addition will be constructed to the East side of the existing building and will necessitate removal of the ambulance garage, the heliport and the parking lot between the building and the East driveway entrance. The plans reflect that the parking lot will be reconfigured to improve traffic flow and provide exclusive ambulance access via a new driveway. A new ambulance parking garage will be constructed adjacent to the emergency room addition and the heliport relocated to the South end of the site with direct access to the emergency room. As discussed within this letter, there will be a loss of visitor parking due to the proposed project. In addition, the existing utility services including sanitary sewer, water lateral and storm sewer will need to be relocated around the proposed building addition.

A new emergency generator is to be furnished and located within a new 459 SF single story, stand-alone building located north of the Utility Plant. The building will be constructed of concrete panels and have a flat roof.

The heliport design is dictated by the Federal Aviation Administration (FAA). Provisions within the FAA regulations, Chapter 4 – Hospital Heliports, require a touchdown and liftoff area (TLOF) with minimum dimensions of 40 feet and a final approach and takeoff area (FATO) bounded by a fenced safety area. The plans reflect a FATO with dimensions of 60 feet square and a safety area of 84 feet square. A fence surrounding the safety area will be erected 3 feet outside of the safety area. Both heliport landing area lighting and pavement markings are also regulated by the FAA.

PARKING & DRIVEWAYS

There are three (3) driveway entrances from Memorial Drive that currently serve the Medical Complex which will remain unchanged from present conditions. A new driveway entrance will be provided and extend from the street directly to the Emergency Room. The new entrance will primarily serve ambulatory cases and be constructed to a 25.5-foot pavement width. The East parking lot will be accessed via an existing driveway via three new entrance points. All parking lots and driveways will be constructed of bituminous pavement and have concrete curb and gutter installed along their perimeter. The existing parking lots provide 327 parking places, but due to the proposed site improvements, 49 spaces will be lost. There exists on the property sufficient space to provide additional parking, if needed. All proposed parking spaces are 18-feet long by 9-feet wide meeting the City's parking area requirements.

A question has been raised relative to the ability of a fire engine to adequately access the emergency room entrance driveway from Memorial Drive. The "AutoTurn" diagram, subsequently submitted under cover of the HGA email of June 11th illustrates that a 50-foot long fire truck could access the driveway to the Emergency Room.

UTILITY RELOCATIONS

The existing sanitary sewer, watermain and storm sewer services adjacent to the proposed building addition are scheduled to be relocated in conjunction with the project. Both the existing 6-inch sanitary sewer and 6-inch watermain services will be extended to the new building addition and reconnect to the existing sewer and watermain north of Memorial Drive. The storm sewer system is being retained and expanded as necessary to serve the new facilities. A new stormwater management scheme is proposed to meet both State and City requirements.

EXTERIOR LIGHTING

A new exterior lighting system has been proposed to be erected in conjunction with the reconfiguration of the parking lot. Four types of lighting are proposed:

- 1) 20 – Recessed subsurface LED (Rollover) lights surrounding the helipad, to illuminate the landing area
- 2) 3 – FAA pole mounted red LED flashing beacons located around the helipad to denote obstructions
- 3) 3 – Dual head LED lighting fixtures (16,000 lumens) mounted on 25-foot poles within the parking lot
- 4) 8 – Single head LED lighting fixtures (6,300 – 8,000 lumens) mounted on 25 – foot poles within the parking lot

The layout of the lighting within the parking lot appears typical for similar institutional parking lot installations. The photometric plan, as submitted, reflects that the illumination emitted from the exterior lights will not exceed 0.5 foot-candles at the property line. This conforms with the general guidelines established by the City of Berlin.

STORMWATER MANAGEMENT

The proposed site improvements and building addition will necessitate soil disturbance of approximately 2.6-acres. Therefore, provisions within the City Code of Ordinances (Chapter 82, Article XII – Stormwater Management) and Wisconsin DNR regulations within NR 151 Runoff Management and Chapter NR 216 Stormwater Discharge Permits will dictate provisions for both the rate and quality of stormwater discharged from the site. There are no requirements for on-site infiltration as the project involves redevelopment. All stormwater discharged from the site will be conveyed to the 30-inch municipal storm sewer in Memorial Drive. Pursuant to an email from HGA dated June 11th it should be noted that primary roof drains from the buildings will be connected to the on-site storm sewer system.

The City of Berlin's stormwater ordinance dictates that "the 25-year post development peak flow discharge rates of stormwater runoff shall not exceed the calculated pre-development discharge rates for the 10-year 24-hour design storm." Moreover, the ordinance states that "Stormwater runoff shall be treated to remove, on an average annual basis, a minimum of 80 percent of the total estimated suspended solids load."

In response to these requirements, HGA has proposed a multi-tier system to both control the rate of stormwater runoff and the quality of the discharge consisting of the following:

- Installation of 5 Pretreatment Storm manholes with 4-foot sumps to reduce suspended solids
- Infiltration planter, with Rain Guardian pre-treatment system, located at the NE corner of the parking lot. (Stormwater is received from piped storm inlets, sheet drainage from surrounding area and main entry canopy with the overflow discharged to bioretention basin).

- Bio-retention basin located within the SE corner of parking lot. (Stormwater is received from piped storm inlets, sheet drainage from surrounding area and the heliport sub drainage system with the overflow directed to on-site sewer and discharged into the municipal storm sewer system).

The existing pre-development site was 69% impervious while the post developed site is 74% impervious. Based upon computations within the Storm Water Management Report, the rate of storm water discharged will be reduced below existing conditions by 29% meeting the City ordinance requirements. The installation of the pre-treatment storm manholes, and addition of both the infiltration planter and bio-retention basin provide sufficient storm reduction and treatment to meet both City and State requirements.

HGA has outlined specific instructions for the operation and maintenance of the storm sewer system including the pre-treatment storm manholes, the infiltration planter and the bio-retention basin within Appendix E of the Storm Water Management Report. Proper operation and maintenance are essential to both optimize performance and meet stormwater discharge standards. Therefore, we recommend that a Storm Water Maintenance Agreement be drafted by the City Attorney incorporating the provisions set forth within Appendix E of the Storm Water Management Report and designate both responsibilities and remedies for maintenance of stormwater systems.

EROSION CONTROL

The erosion control provisions within the plans consist of the following BMPs:

- Installation of a stone tracking pad at the new driveway from Memorial Drive which will serve as the construction entrance
- Provisions for storm inlet protection over all existing and proposed storm water inlets
- The installation of an erosion control blanket over the hillside flanking the ambulance driveway due to steep slopes
- The erecting of silt fence along the North ROW of Memorial Drive and downstream (West) of the proposed building intended to house the emergency generator

In addition to the BMPs the plans dictate requirements for undertaking sitework and grading activities ensuring that erosion control measures will be in place, inspected and a maintained throughout construction of the project. As construction of the project is being bid as "design-build," the prime construction contractor will be held responsible for submittal of the Notice of Intent(NOI) pursuant to NR 151 requirements, securing all permits and both the installation and maintenance of all erosion control devices. In addition, the storm water pollution control notes require the contractor to inspect and clean any sediment deposited on the roadway daily. Provided that all the erosion control BMPs are installed, inspected, and maintained as provided for within the plans, the provisions appear to be adequate and meet both State and City requirements.

The HGA email of June 11th has indicated that the General Contractor, Boldt Contractors Inc., will be the responsible party for ensuring that all erosion control BMPs are installed and maintained throughout the construction project duration.

CONCLUSIONS & RECOMMENDATIONS

The proposed addition to ThedaCare Medical Center and the proposed site improvements appear sufficient to meet the requirements as set forth within the City of Berlin Ordinance, Chapter 14 Buildings and Building Regulations. The site civil plans are generally comprehensive, but are missing elements as denoted below.

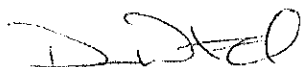
We therefore recommend that the Berlin Plan Commission consider approval of the proposed ThedaCare building addition subject to the following conditions:

- 1) That site landscaping plans be submitted to the City for review and approval prior to a building permit being issued. In addition, signage plans, including details, are to be submitted to the City for approval prior to their being installed. (HGA 6/11/20 email-Boldt Contractors Inc. is responsible for submittal)
- 2) That all Erosion Control BMP's, as reflected within the plans, be installed and maintained pursuant to the plans, specifications, and NR 151 standards. In addition, all erosion control devices are to be installed prior to the initiation of the construction project. (HGA 6/11/20 email-Boldt Contractors Inc., the building General Contractor, is the responsible party to ensure that all erosion control BMPs are erected and maintained throughout construction of the project)
- 3) That the City Attorney prepare a Stormwater Management Agreement to require the continued operation and maintenance of stormwater facilities, as constructed, in perpetuity.
- 4) That the contractor coordinate with the City DPW in establishing the location of the proposed driveway extension to Memorial Drive and moreover, that all improvements within the ROW be inspected by City personnel. (HGA 6/11/20 email-Boldt Contractors Inc. will work with City staff regarding the location of driveway entrances extending from Memorial Drive.
- 5) That the general contractor, or other designee, be responsible for submittal of a Notice of Intent to the WDNR prior to undertaking any onsite grading efforts. (HGA 6/11/20 email-Boldt contractors Inc.)
- 6) That the general contractor be responsible for removing sediment and eroded material, as may be deposited on public roadways, pursuant to the requirements stated in the plans and/or as directed by the City DPW or building inspector. (HGA 6/11/20 email-Boldt Contractors is responsible for removal of all sediment and eroded material from public roadways)
- 7) That project improvement plans be circulated to both the City of Berlin Building Inspector and City Emergency Services Departments for review and concurrence prior to construction. (HGA 6/11/20 email-Boldt Contractors Inc. to submit full set of construction drawings to City Building Inspector and City Emergency services prior to starting construction)
- 8) Any other conditions as set forth by the City of Berlin.

Lindsey, this completes my review of the ThedaCare proposed site plan improvements. Should you have any questions or concerns please feel free to contact me.

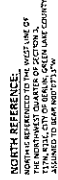
Sincerely,

KUNKEL ENGINEERING GROUP
































Don Neitzel, General Manager

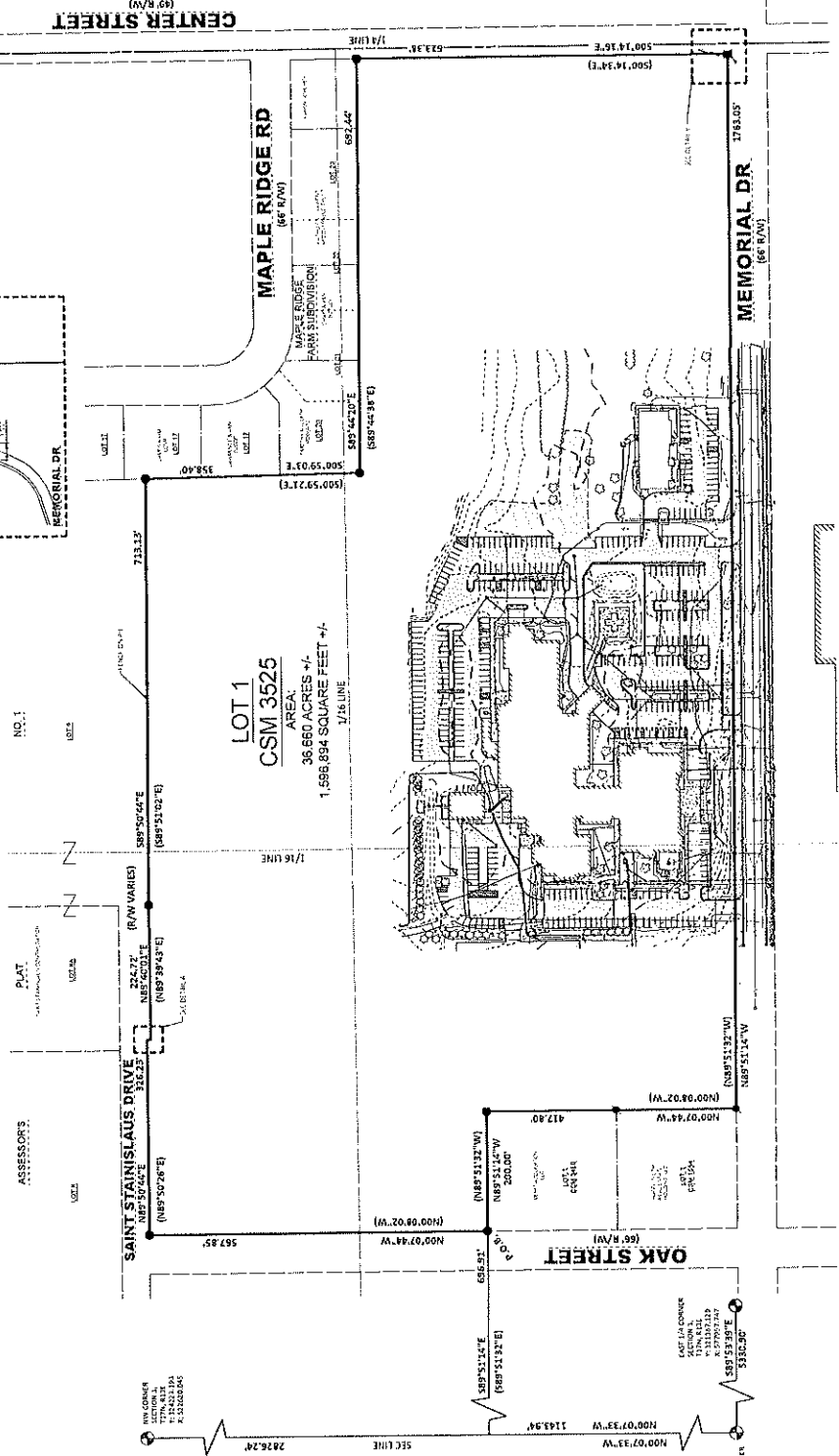
cc: Jodie Olson, City Administrator (via email only)
Scott Zabel, DPW Superintendent (via email only)
Brian Malnory, Utility Superintendent (via email only)
Randy Backhaus, Building Inspector (via email only)



NORTH REFERENCE:
NORTH IS REFERENCED TO THE WEST LINE OF
THE NORTHWEST QUARTER OF SECTION 3,
T17N, R23E, CITY OF DEALIN, GREEN LAKE COUNTY,
ASSUMED TO BEAR N00°07'33"W.

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NOTES:

1. PERCENTAGE BLANKS SHOWN ARE BASED UPON THE GREEN LAKE COUNTY COMBINED SYSTEM, MAY 31, 2011 ADJUSTMENT.
2. CONTIGUES ARE SHOWN AT 1 HOUR INTERVALS. VERTICAL DITCHES ARE BASED UPON ROAD BOUNDARY. DITCHES NOT IDENTIFIED BY ROAD BOUNDARY ARE BASED UPON FIELD MARKING.
3. UNDERGROUND UTILITY LOCATIONS SHOWN ARE BASED UPON FIELD MARKING BY "DIGGERS-NO-DIG". TICKET NO. 302266 WAS SHOWN WITH A CALL DATE 1/17/15.
4. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION SURVEYING MANUAL AND STANDARDS ARE DEFINED IN CHAPTER 47.2 OF THE WISCONSIN STATUTES.
5. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH MINIMUM STANDARD SETTING REQUIREMENTS FOR DESIGN, AND THIS SURVEY MET ALL AT LEAST ACCEPTED FOR DESIGN.
6. SURVEY INWARDED ON TISSA G&L.

SURVEYOR'S CERTIFICATE:














































I, DAVID A. YARR, STATE OF MISSISSIPPI PROFESSIONAL LAND SURVEYOR NO. 7648 DO HEREBY CERTIFY THAT I HAVE MADE A SURVEY OF THE 6400 ACRES MORE OR LESS SHOWN HEREON ACCORDING TO THE OFFICIAL RECORDS AND THAT THIS MAP IS A TRUE AND ACCURATE REPRESENTATION THEREOF TO THE BEST OF MY KNOWLEDGE AND BELIEF.

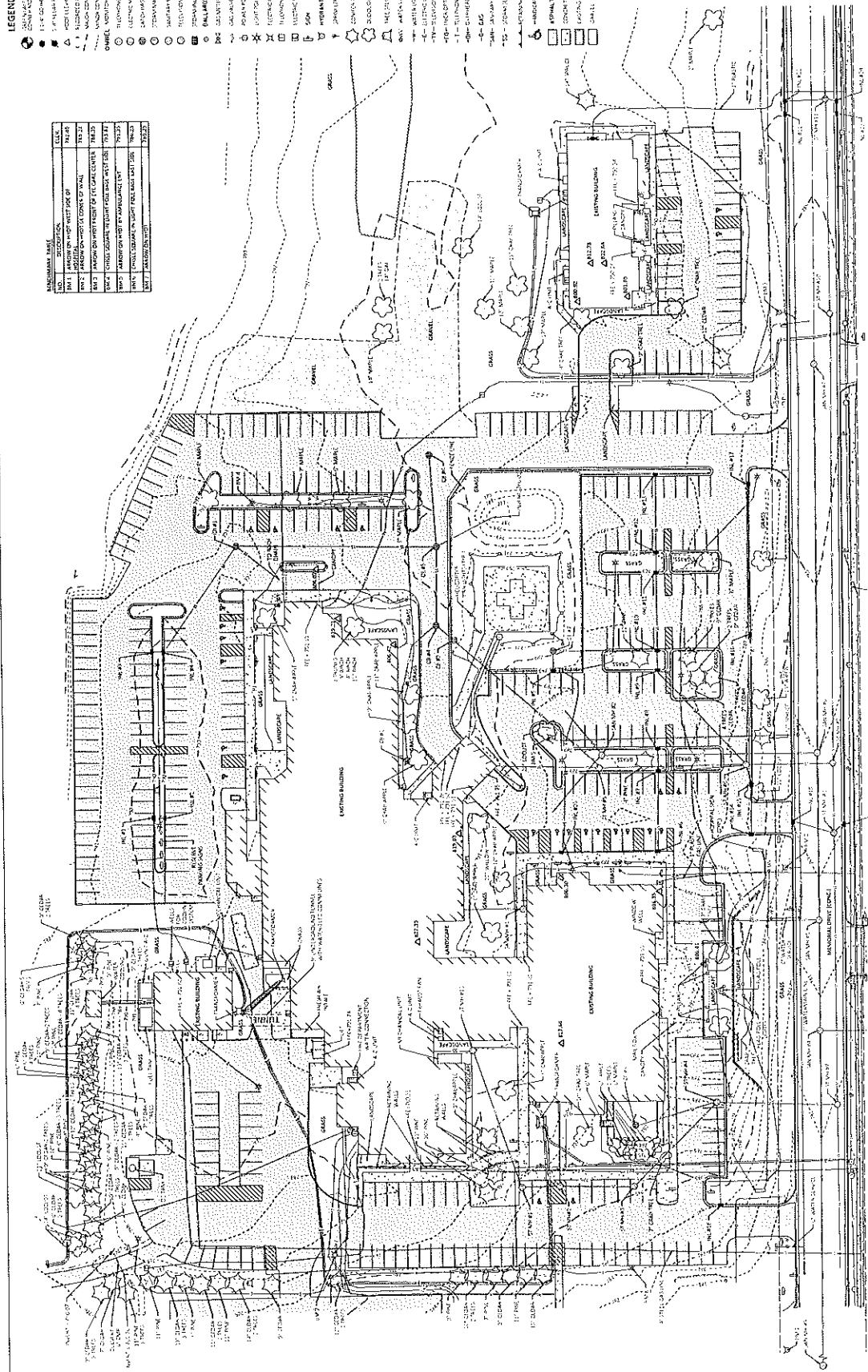
David A. Vuck 12/20/2019
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David A. Vuck 12/20/2019
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MAP GARCIA
CINC 14321 908-2899
CIN 14321 604-0796
PLAIN WATER 5, 50 WIND BARBET
WIND BARBET

SURVEYOR'S CERTIFICATE:
 I, DAVID C. YUREK, A LICENSED PROFESSIONAL LAND SURVEYOR
 IN THE STATE OF WISCONSIN, HEREBY CERTIFY THAT I HAVE MADE A SURVEY OF
 THE ABOVE DESCRIBED TRACT OF LAND, AND THAT THE LINES AND CORNERS
 SHOWN HEREON ACCORDING TO THE OFFICIAL RECORDS
 OF THE CLERK OF THE CIRCUIT COURT FOR THE COUNTY OF
DAVID C. YUREK IS A TRUE AND ACCURATE REPRESENTATION
 HEREOF TO THE BEST OF MY KNOWLEDGE AND BELIEF.

David C. Yurek
 DAVID C. YUREK, State

12/20/2018
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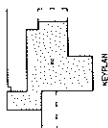
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THEDACARE
225 MEMORIAL DR.
BERLIN, WI 54923

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MEDICAL CENTER-
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ThedaCare

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EROSION

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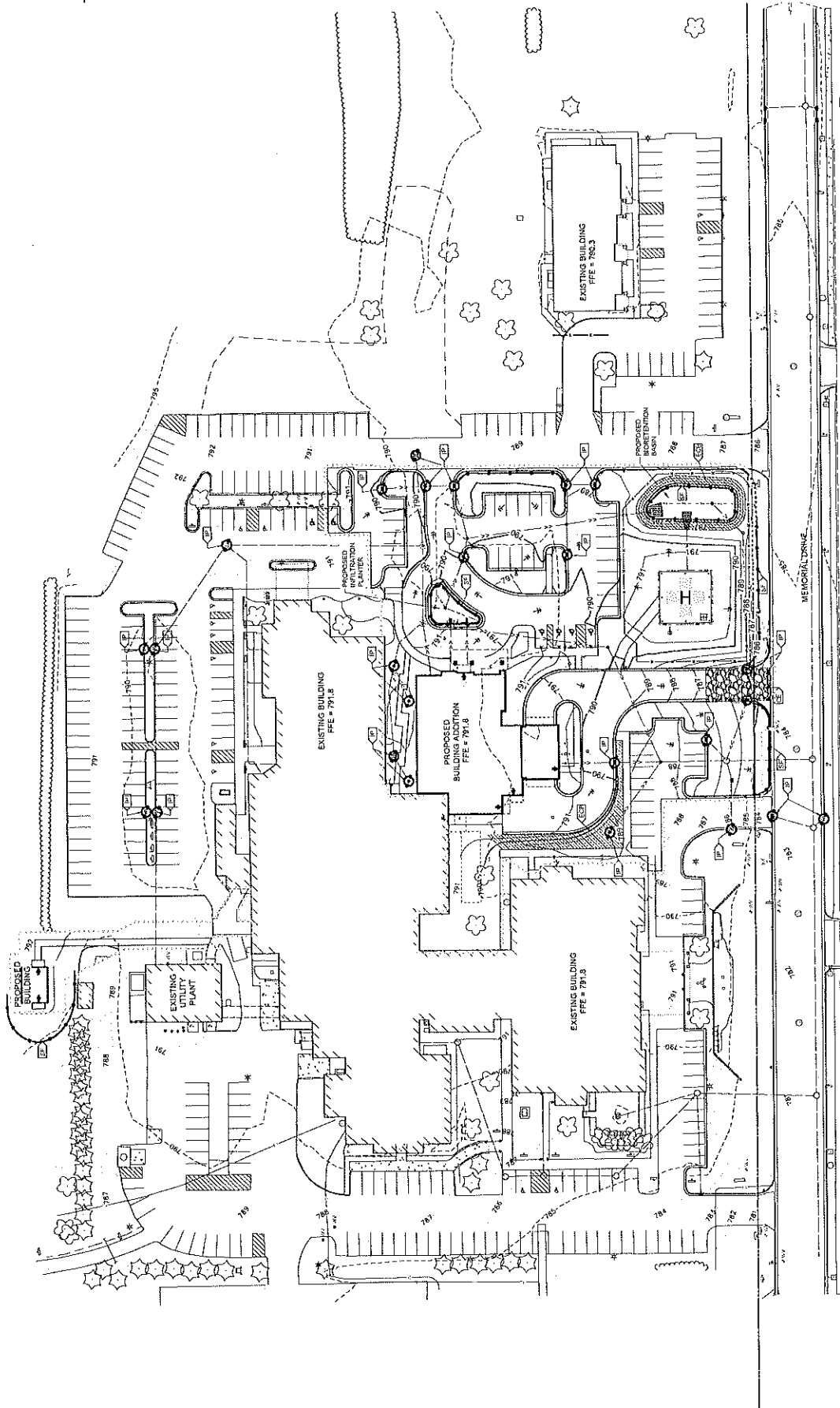
CONTROL

PLAN

SUBMITTAL

C100

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KEY NOTES:

- RET. NOTES:
- | | |
|----|------------------------|
| 12 | SILT FENCE SEE |
| 13 | INLET PROTECTION |
| 14 | EROSION CONTROL PLANET |
| 15 | ROCK CONSTRUCTION EXIT |

NOTES:

- NOTES:
1. SEE SHEET C001 FOR CIVIL NOTES AND LEGEND
2. SEE SHEET C101 FOR EROSION CONTROL DETAILS

ANTICIPATED CONSTRUCTION SEQUENCING:

6. CONSTRUCT STABILIZED EMBANKMENT.
7. INSTALL AIR PRICE MACHINE BUDGET.
8. INSTALL INLET PROTECTION.
9. REMOVE EXISTING BANDING.
10. REMOVE EXISTING CURB & GUTTER AND PAVEMENT.
11. STUMP DISPOSAL.
12. MAINTAINAL TEMP. ENGINEER CONTROLS.
13. CONSTRUCT NEW BUILDING ADDITION.
14. CONSTRUCT NEW PAVEMENT AND MEDIAN.
15. COMPLETE SITE GRADING.
16. TOP DRESS TURF AREAS.
17. STABILIZE SITE.
18. REMOVE ACCUMULATED DEBRISH FROM SEGMENT 3.
19. CONSTRUCT CURB & GUTTER PRACTICES.
20. REMOVE TEMPORARY EROSION CONTROLS.

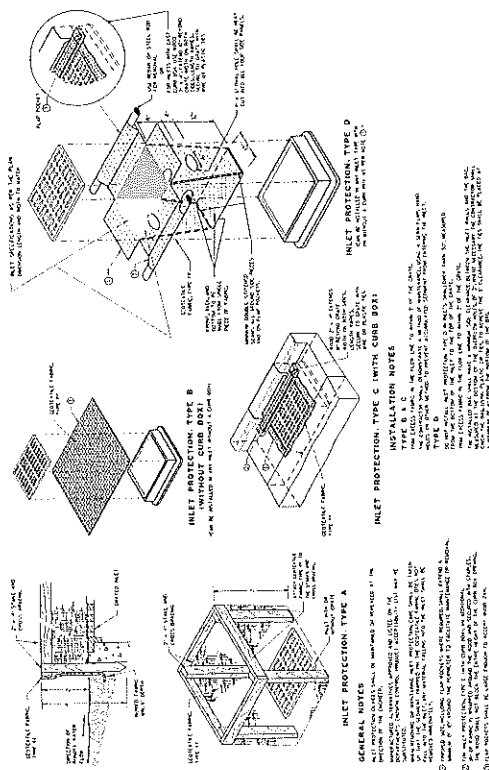
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EROSION CONTROL DETAILS

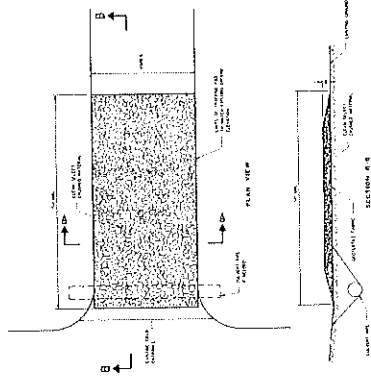
DATE MAY 15, 2020

C101

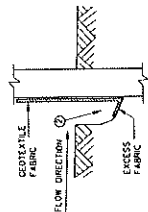
DEPARTMENT OF THE ARMY, GALEN AND BRIDGEMANSON INC.



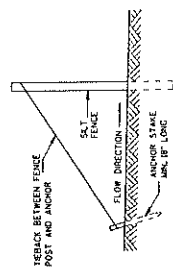
INLET PROTECTION (TYPE A, B, C, & D)



CONSTRUCTION TRACKING PAD



TRENCH DETAIL



SILT FENCE TIE BACK
(WHEN REQUIRED BY THE ENGINEER)

WHEN REQUIRED

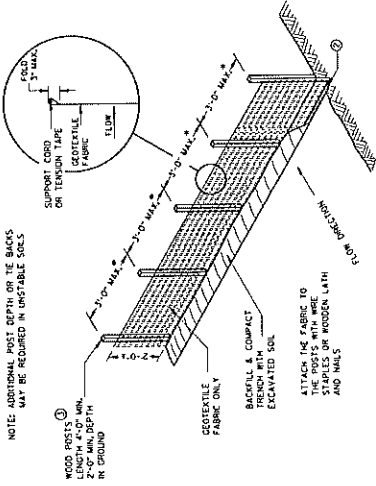
GENERAL NOTES

DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS

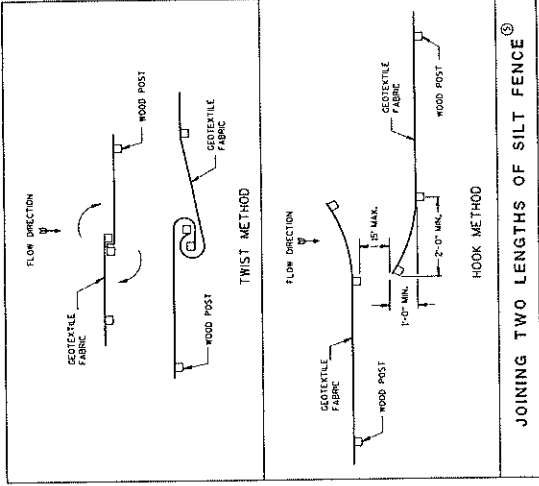
FOR MAJORITY INSTALLATIONS THE TRENCH SHALL BE A MINIMUM OF 6" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC, FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.

WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/2" X 1 1/2" OF OAK OR HICKORY.

CONSTRUCT SALT FENCE FROM A CONTINUOUS ROLL, IF POSSIBLE, BY CUTTING LENGTHS TO AVOID JOINTS, IF A JOINT IS NECESSARY. USE ONE OF THE FOLLOWING TWO METHODS AT TWIST METHOD: OVERLAP THE END OF POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. 8) HOOK METHOD - HOOK THE END OF EACH SALT FENCE TO THE NEXT ONE.

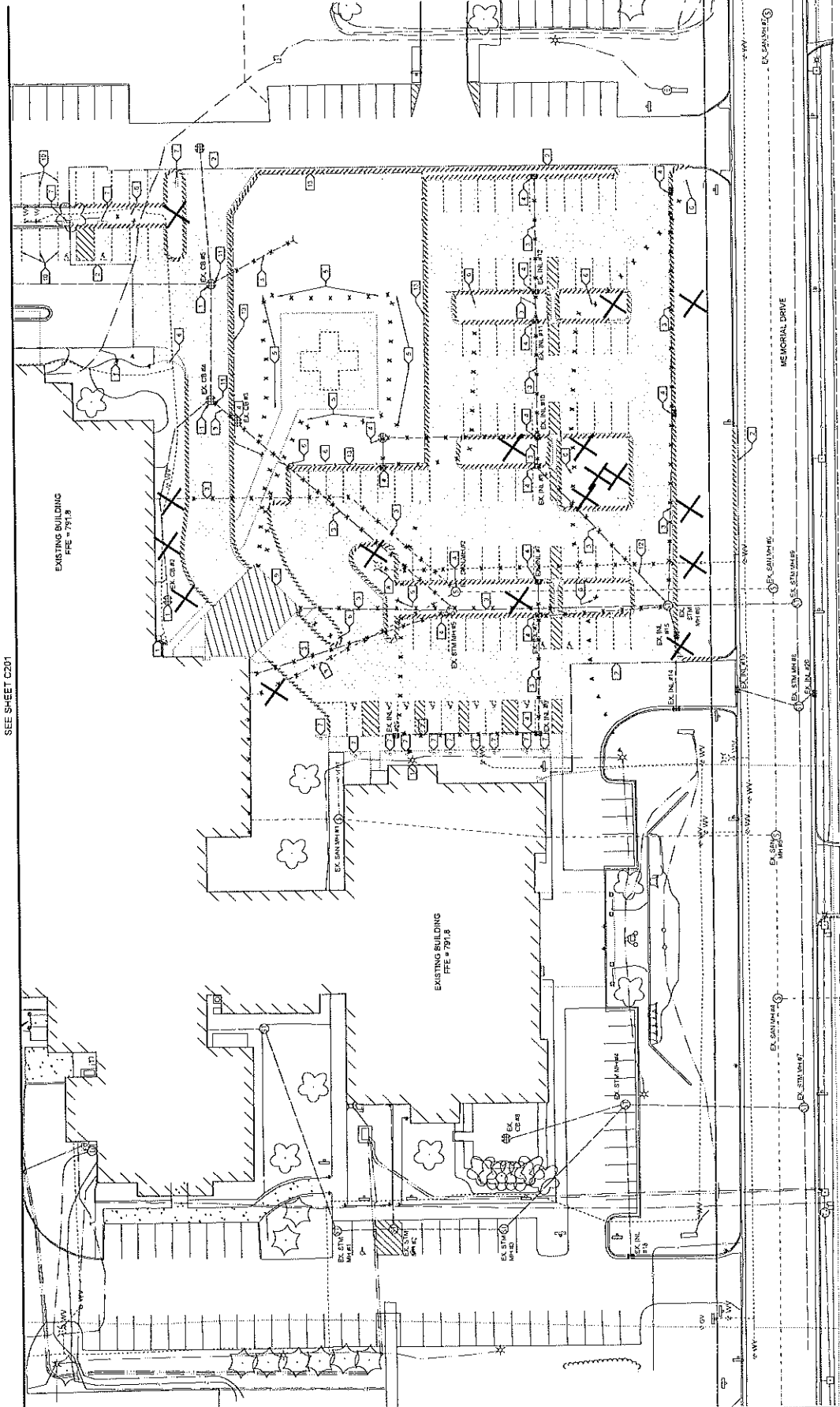


NOTE: 8'-0" POST SPACING ALLOWED IF A
MINIMUM 3" DIA. POST IS USED



JOINING TWO LENGTHS OF SILT FENCE²

3. SILT FENCE

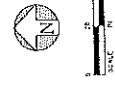


KEY NOTES

1. PROTECT EXISTING FEATURE
2. SAWCUT PAVEMENT
3. REMOVE PIPE
4. REMOVE MANHOLE OR CATCH BASIN
5. REMOVE ALL ELECTRICAL, FUEL LINES AND APPURTENANCES AT EXISTING HELIPORT
6. REMOVE POLE & FOUNDATION
7. REMOVE SIGN
8. REMOVE HYDRANT
9. DEMOLISH EXISTING AIRLANCE GARAGE
10. REMOVE PAVEMENT STRIPING
11. PULL OPENING LEFT BY PIPE REMOVAL WITH NON-DRINK CIRCUIT
12. CAP EXISTING STORM SEWER UNTIL NEW STORM IS INSTALLED
13. REMOVE & DISPOSE OF EXISTING FENCE AND EXISTING HELIPORT

NOTES

1. SEE SHEET C201 FOR CIVIL NOTES AND LEGEND
2. SEE SITE SURVEY FOR EXISTING UTILITY INFORMATION



SEE SHEET C201

EXISTING BUILDING
FTE = 791.8

EXISTING BUILDING
FTE = 791.8

MEMORIAL DRIVE

EX. SANITARY

EX. STORM

EX. GAS

EX. WATER

HGA

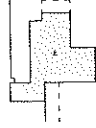
222 E 1st Street
Madison, WI 53702
608.255.1234

THEDACARE
225 MEMORIAL DR.
BERLIN, WI 53523

THEDACARE
MEDICAL CENTER
BERLIN ED ADDITION



ThedaCare



KEY PLAN

THIS KEY PLAN IS A SUMMARY OF THE PROJECT. IT IS NOT TO BE USED FOR CONSTRUCTION. FOR MORE DETAILED INFORMATION, SEE THE PROJECT MANUAL AND THE PROJECT'S SPECIFICATIONS.

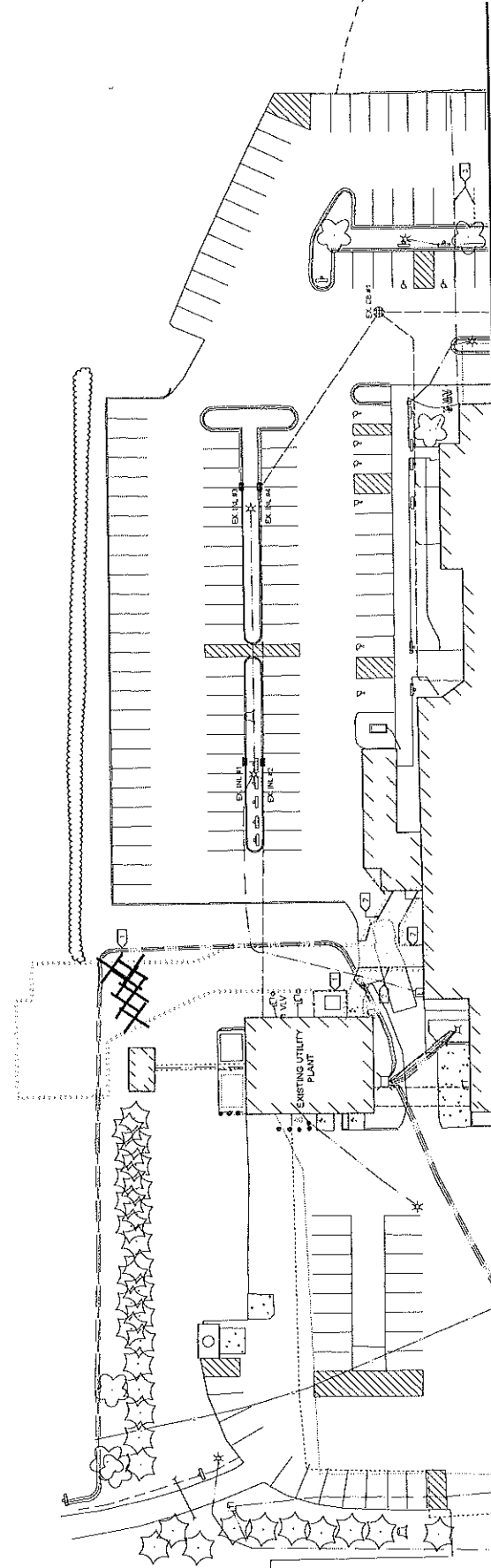
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DEMOLITION
PLAN

DATE: 04/15/2023
CITY: DUBLIN

C201

CONSTRUCTION MANAGEMENT, INC.



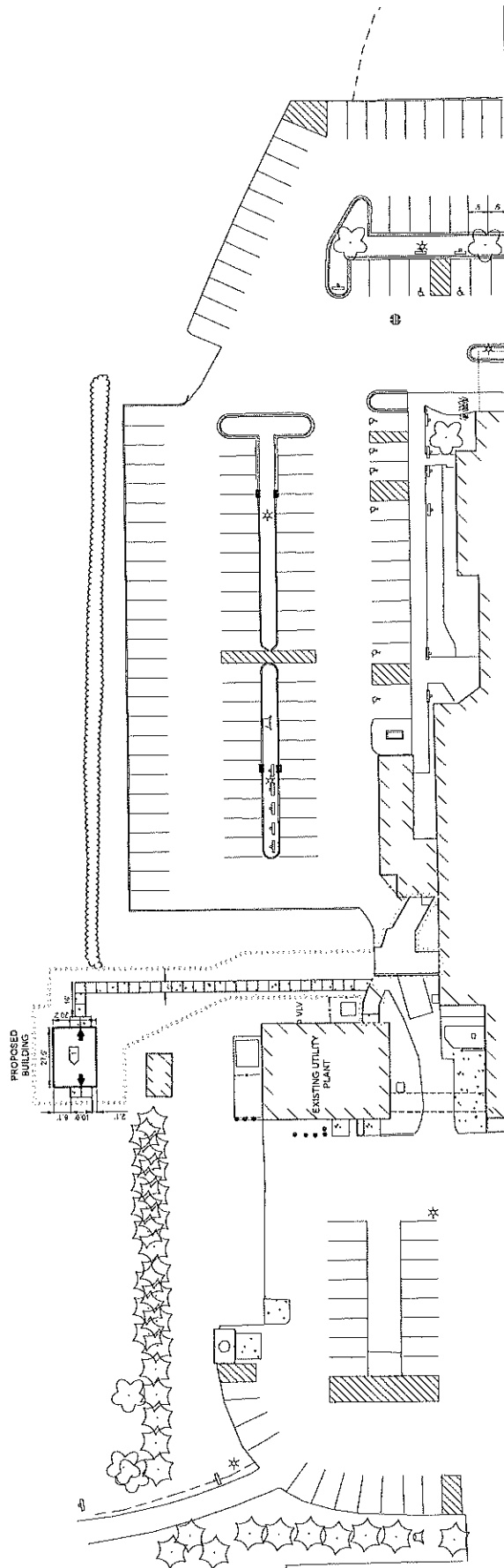
SEE SHEET C200



0 20 40
Feet
Scale

NOTES:
1. SEE SHEET C200 FOR OWN NOTES AND LEGEND
2. SEE SITE SURVEY FOR EXISTING UTILITY INFORMATION

KEY NOTES
(1) PROTECT EXISTING FEATURE
(2) REMOVE PAVEMENT
(3) REMOVE PAVEMENT STRIPING



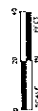
SEE SHEET C300

[illegible]

PARKING SUMMARY	
EXISTING CONDITIONS	
EXISTING STALLS	364
EXISTING ADA STALLS	23
EXISTING TOTAL	387
PROPOSED CONDITIONS	
PROPOSED STALLS	262
PROPOSED ADA STALLS	16
PROPOSED TOTAL	278

1 PROPOSED BUILDING TO HOUSE NEW ELECTRICAL GENERATOR (FEB. 27/2007) SEE ARCHITECTURAL PLANS FOR DETAIL

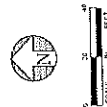
NOTES:
1. SEE SHEET CDD1 FOR CIVIL NOTES AND LEGEND
2. SEE STRUCTURAL FOUNDATION PLAN FOR SCOOP LOCATIONS.

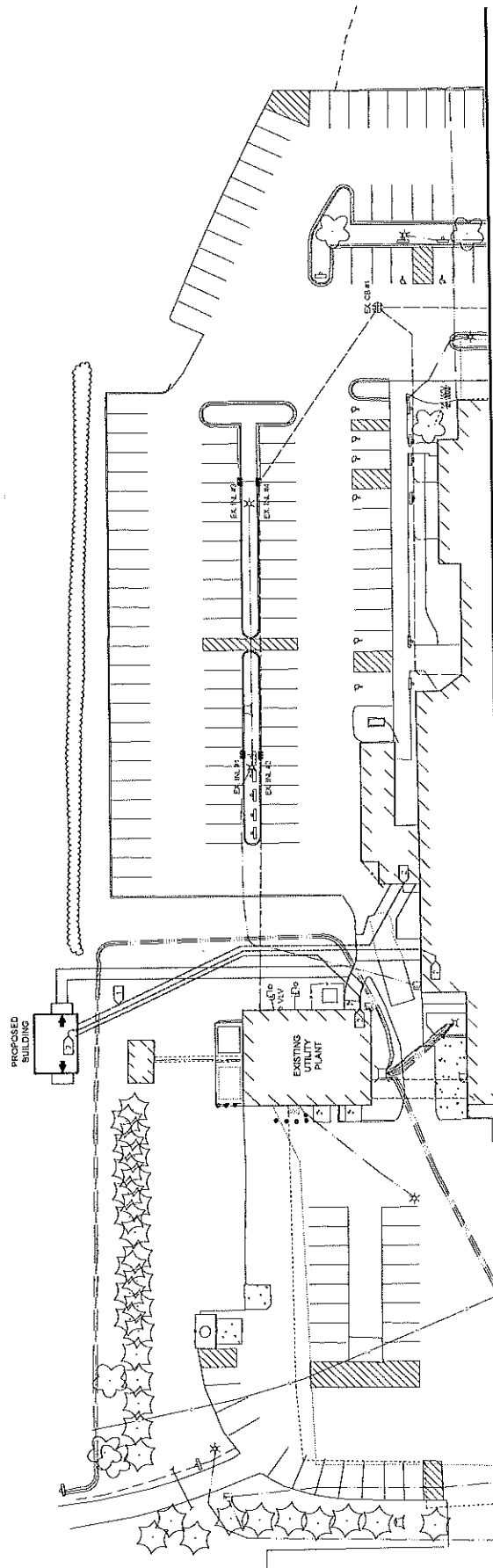
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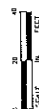


NOTES:
1. SEE SHEET C101 FOR CIVIL NOTES AND LEGEND
2. SEE SHEETS C500 - C502 FOR UTILITY INFORMATION & STRUCTURE SCHEDULE





SEE SHEET C500

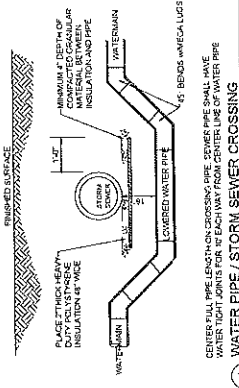


KEY NOTES

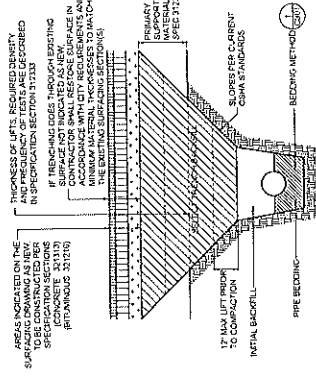
- NOTES**
- 1 PROPOSED ELECTRICAL DUCT BANK (SEE ELECTRICAL PLANS FOR DETAILS)
- 2 CONNECT PROPOSED ELECTRICAL DUCT BANK TO BUILDING (SEE ELECTRICAL PLANS FOR DETAILS)

NOTES:

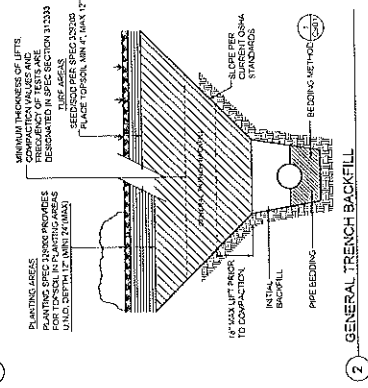
- NOTES:
1. SEE SHEET C001 FOR CIVIL NOTES AND LEGEND
2. SEE SHEET C502 FOR STRUCTURE SCHEDULE AND DETAILS
3. SEE SITE SURVEY FOR EXISTING UTILITY INFORMATION



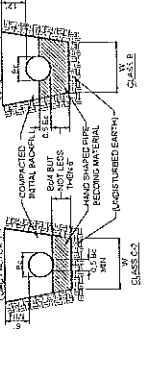
1 WATER PIPE / STORM SEWER CROSSING



2 TRENCH UNDER PAVEMENT OR FLOOR SLAB



3 GENERAL TRENCH BACKFILL



4 WATERMAIN THRUST BLOCK DETAILS

TABLE 1: REQUIRED TOTAL BEDDING AREAS (SQ. FT.)

PIPE SIZE	5"	6"	8"	10"	12"
TEE ON DEAD END	7	3	4.5	6	9
CROSS AND PLUG	2.5	4.5	6	9	13.5
TEE AND PLUG	1.5	2.5	3.5	5	7.5
TEE AND PLUG	2.5	4.5	6	9	13.5

TABLE 2: REQUIRED TOTAL BEDDING AREAS (SQ. FT.)

PIPE SIZE	5"	6"	8"	10"	12"
TEE ON DEAD END	7	3	4.5	6	9
CROSS AND PLUG	2.5	4.5	6	9	13.5
TEE AND PLUG	1.5	2.5	3.5	5	7.5
TEE AND PLUG	2.5	4.5	6	9	13.5

TABLE 3: REQUIRED TOTAL BEDDING AREAS (SQ. FT.)

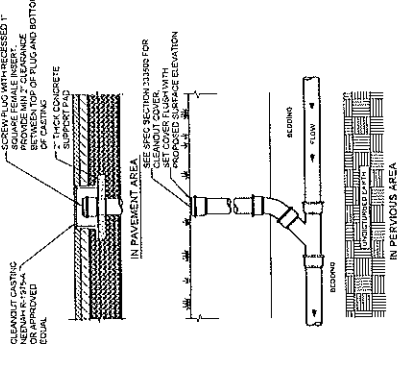
PIPE SIZE	5"	6"	8"	10"	12"
TEE ON DEAD END	7	3	4.5	6	9
CROSS AND PLUG	2.5	4.5	6	9	13.5
TEE AND PLUG	1.5	2.5	3.5	5	7.5
TEE AND PLUG	2.5	4.5	6	9	13.5

TABLE 4: REQUIRED TOTAL BEDDING AREAS (SQ. FT.)

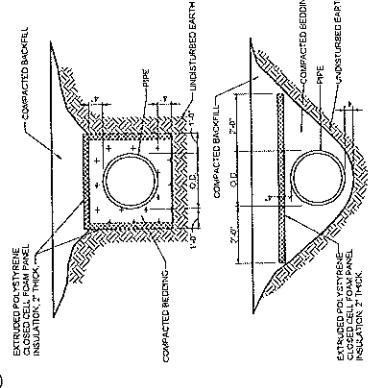
PIPE SIZE	5"	6"	8"	10"	12"
TEE ON DEAD END	7	3	4.5	6	9
CROSS AND PLUG	2.5	4.5	6	9	13.5
TEE AND PLUG	1.5	2.5	3.5	5	7.5
TEE AND PLUG	2.5	4.5	6	9	13.5

TABLE 5: REQUIRED TOTAL BEDDING AREAS (SQ. FT.)

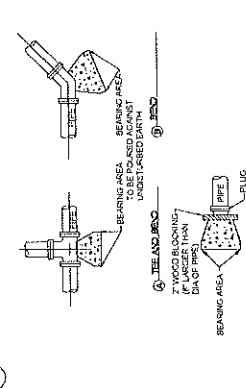
PIPE SIZE	5"	6"	8"	10"	12"
TEE ON DEAD END	7	3	4.5	6	9
CROSS AND PLUG	2.5	4.5	6	9	13.5
TEE AND PLUG	1.5	2.5	3.5	5	7.5
TEE AND PLUG	2.5	4.5	6	9	13.5



5 CLEANOUT



6 PIPE INSULATION



7 WATERMAIN THRUST BLOCK DETAILS

TABLE 6: REQUIRED TOTAL BEDDING AREAS (SQ. FT.)

PIPE SIZE	5"	6"	8"	10"	12"
TEE ON DEAD END	7	3	4.5	6	9
CROSS AND PLUG	2.5	4.5	6	9	13.5
TEE AND PLUG	1.5	2.5	3.5	5	7.5
TEE AND PLUG	2.5	4.5	6	9	13.5

TABLE 7: REQUIRED TOTAL BEDDING AREAS (SQ. FT.)

PIPE SIZE	5"	6"	8"	10"	12"
TEE ON DEAD END	7	3	4.5	6	9
CROSS AND PLUG	2.5	4.5	6	9	13.5
TEE AND PLUG	1.5	2.5	3.5	5	7.5
TEE AND PLUG	2.5	4.5	6	9	13.5

TABLE 8: REQUIRED TOTAL BEDDING AREAS (SQ. FT.)

PIPE SIZE	5"	6"	8"	10"	12"
TEE ON DEAD END	7	3	4.5	6	9
CROSS AND PLUG	2.5	4.5	6	9	13.5
TEE AND PLUG	1.5	2.5	3.5	5	7.5
TEE AND PLUG	2.5	4.5	6	9	13.5

TABLE 9: REQUIRED TOTAL BEDDING AREAS (SQ. FT.)

PIPE SIZE	5"	6"	8"	10"	12"
TEE ON DEAD END	7	3	4.5	6	9
CROSS AND PLUG	2.5	4.5	6	9	13.5
TEE AND PLUG	1.5	2.5	3.5	5	7.5
TEE AND PLUG	2.5	4.5	6	9	13.5

TABLE 10: REQUIRED TOTAL BEDDING AREAS (SQ. FT.)

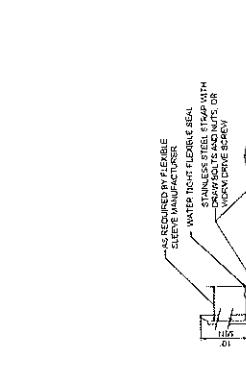
PIPE SIZE	5"	6"	8"	10"	12"
TEE ON DEAD END	7	3	4.5	6	9
CROSS AND PLUG	2.5	4.5	6	9	13.5
TEE AND PLUG	1.5	2.5	3.5	5	7.5
TEE AND PLUG	2.5	4.5	6	9	13.5



8 WATERMAIN THRUST BLOCK DETAILS



9 PIPE INSULATION



10 WATERMAIN THRUST BLOCK DETAILS

TABLE 11: REQUIRED TOTAL BEDDING AREAS (SQ. FT.)

PIPE SIZE	5"	6"	8"	10"	12"
TEE ON DEAD END	7	3	4.5	6	9
CROSS AND PLUG	2.5	4.5	6	9	13.5
TEE AND PLUG	1.5	2.5	3.5	5	7.5
TEE AND PLUG	2.5	4.5	6	9	13.5

TABLE 12: REQUIRED TOTAL BEDDING AREAS (SQ. FT.)

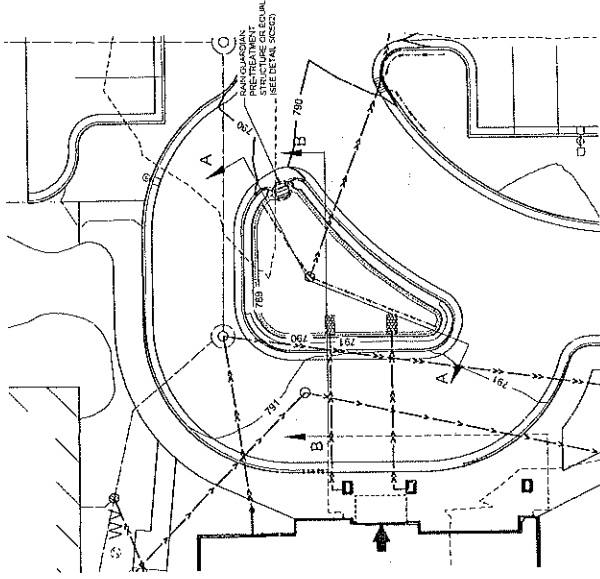
PIPE SIZE	5"	6"	8"	10"	12"
TEE ON DEAD END	7	3	4.5	6	9
CROSS AND PLUG	2.5	4.5	6	9	13.5
TEE AND PLUG	1.5	2.5	3.5	5	7.5
TEE AND PLUG	2.5	4.5	6	9	13.5

TABLE 13: REQUIRED TOTAL BEDDING AREAS (SQ. FT.)

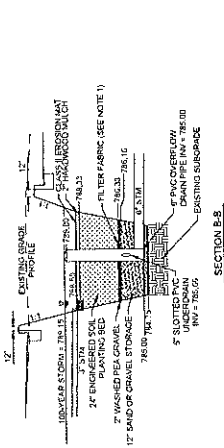
PIPE SIZE	5"	6"	8"	10"	12"
TEE ON DEAD END	7	3	4.5	6	9
CROSS AND PLUG	2.5	4.5	6	9	13.5
TEE AND PLUG	1.5	2.5	3.5	5	7.5
TEE AND PLUG	2.5	4.5	6	9	13.5

TABLE 14: REQUIRED TOTAL BEDDING AREAS (SQ. FT.)

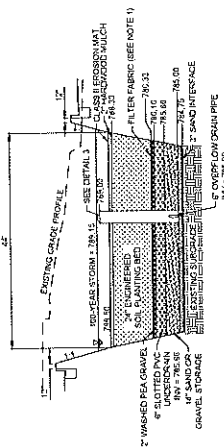
PIPE SIZE	5"	6"	8"	10"	12"
TEE ON DEAD END	7	3	4.5	6	9
CROSS AND PLUG	2.5	4.5	6	9	13.5
TEE AND PLUG	1.5	2.5	3.5	5	7.5
TEE AND PLUG	2.5	4.5	6	9	13.5



1 INFILTRATION PLANTER DETAILS



SECTION A-A



SECTION B-B

INFILTRATION PLANTER CROSS SECTION DETAIL

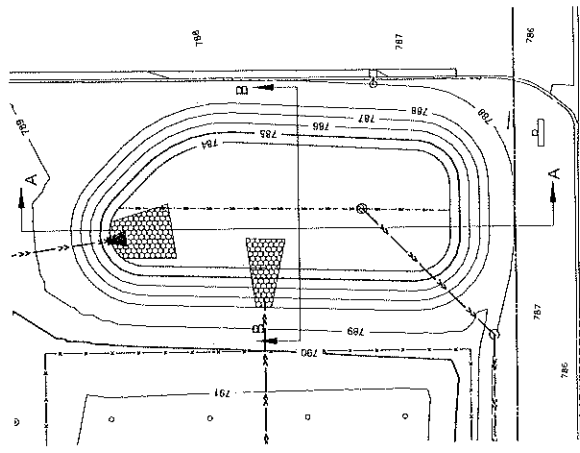
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	11/01/2010
2	ISSUED FOR BIDDING	11/01/2010
3	ISSUED FOR CONSTRUCTION	11/01/2010
4	ISSUED FOR AS-BUILT	11/01/2010
5	ISSUED FOR RECORD	11/01/2010
6	ISSUED FOR FINAL	11/01/2010
7	ISSUED FOR ARCHIVE	11/01/2010
8	ISSUED FOR DESTRUCTION	11/01/2010
9	ISSUED FOR REPAIR	11/01/2010
10	ISSUED FOR REMOVAL	11/01/2010

SITE DETAILS

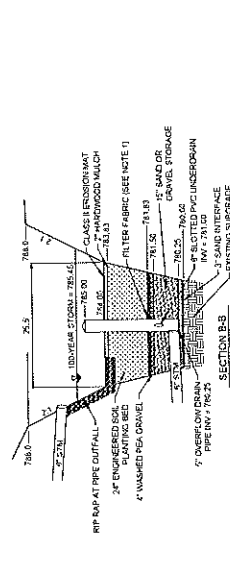
DATE: MAY 18, 2010
CITY: MILWAUKEE

C902

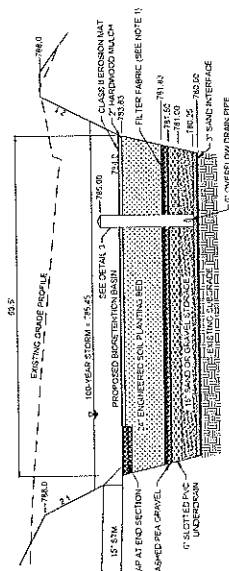
DESIGNED BY: HGA
CHECKED BY: HGA
APPROVED BY: HGA



2 BIORETENTION BASIN DETAILS

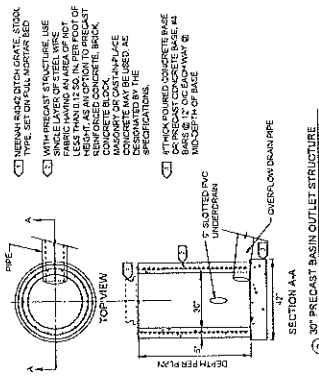


SECTION A-A



SECTION B-B

BIORETENTION BASIN CROSS SECTION DETAIL



SECTION A-A

30\"/>

GENERAL NOTE

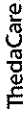
1. GEOTEXTILE FILTER FABRIC TO BE PLACED OVER PERFORATED UNDER DRAIN (UNLESS OTHERWISE SPECIFIED) TO PREVENT SOIL FROM ENTERING DRAINAGE SYSTEM.
2. 10% MIN. CLEAN WASHED CONSTRUCTION SAND (UNLESS OTHERWISE SPECIFIED) TO BE USED FOR ALL CURBS, DRIVEWAYS, SIDEWALKS, AND OTHER PAVED AREAS.
3. 15% MIN. ORGANIC MATTER, COMPOST (MEADOWS ONE SPEC 5102 COMPOST)

- REFER TO SHEET EGG'S GRADING PLAN FOR GRADING REQUIREMENTS.
- REFER TO ELECTRICAL DETAIL SHEET FOR POLE BASE INFORMATION, LIGHTING CONTROL DIAGRAMS, AND ZONE CONVECTILES.
- CONDUIT ROUTES AS SHOWN ARE DIAGNOSTIC IN NATURE. FIELD VERIFIED ACTUAL CONDUIT ROUTES FROM CONDUIT CONDUIT WILL BE REQUIRED TO EXCEED MORE THAN 20% BETWEEN POLES.
- LIGHT FIXTURE LOCATIONS ARE DIAGNOSTIC IN NATURE. FINAL PLANS FOR EXACT LOCATIONS.

525 East Erie Street
Chicago, Illinois 60610
Telephone 312/785-5500

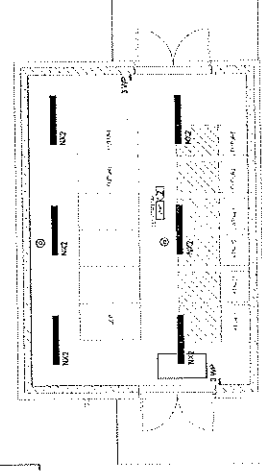
1. FATO AND TL OF LIGHTING SHALL BE INSTALLED WITHIN 1' OF FATO AND TL OF PERIMETER.
2. LIGHTING SHALL BE SET FROM NEAREST CRITICAL CIRCUIT.

THE DACARE
MEDICAL CENTER-
BERLIN ED ADDITION

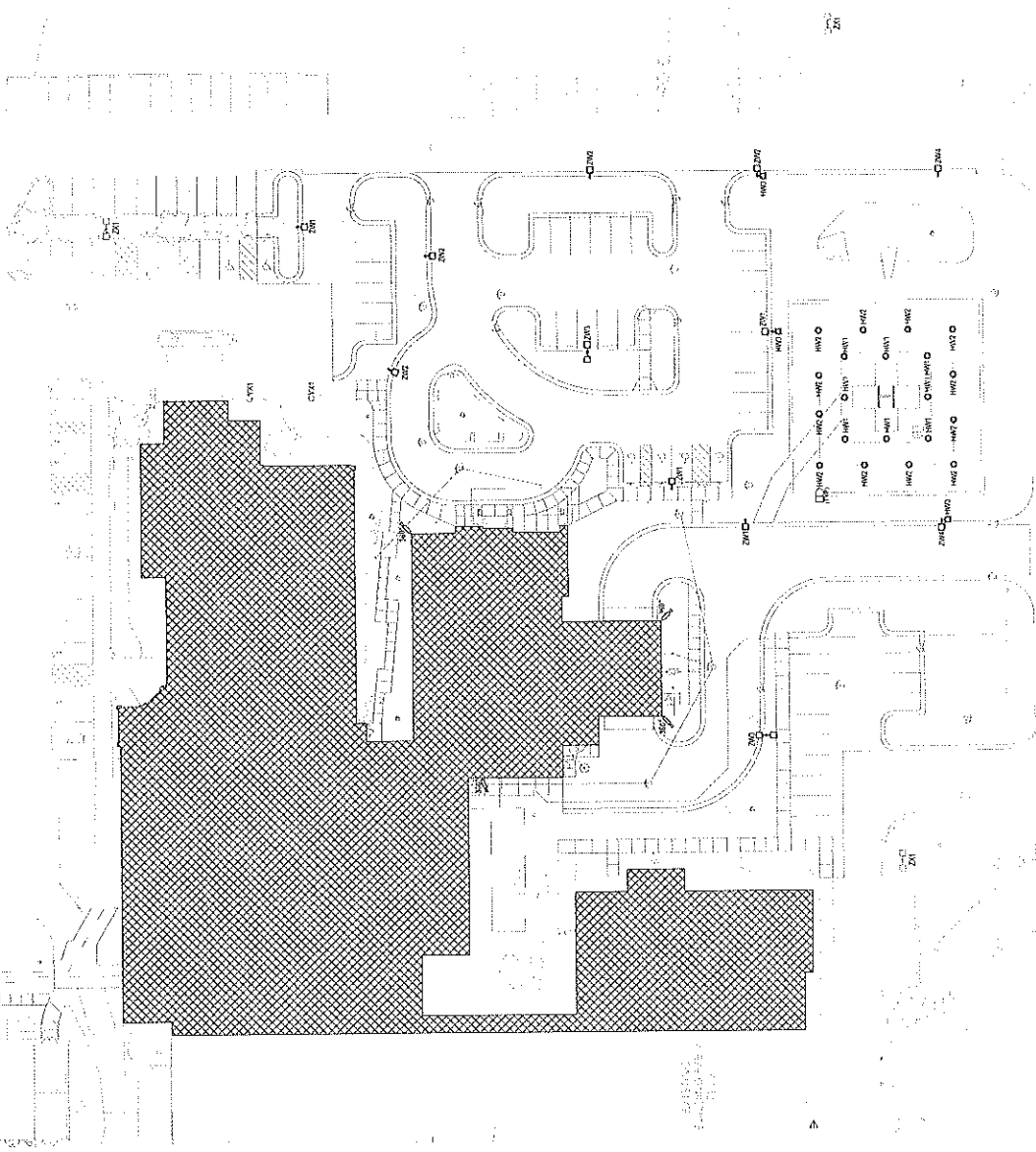
[illegible]

DATE May 15, 2002
CITY SUBMITTAL

E030



ENLARGED ROOM PLAN - UTILITY ROOM 455 LIGHTING



2 LIGHTING SITE PLAN
26" x 11"

Calculation Summary		Cell type	Units	Avg	Total	Min	Max/min
Label	ADDITION OF ANIONIC FRAGMENTS	Fluorescence	F ₂	2.78	1.4	0.2	3.92
	ADDITION OF CATIONIC FRAGMENTS	Fluorescence	F ₂	0.55	1.9	0.3	3.50
	ADDITION OF POLYMERIZATION FRAGMENTS	Fluorescence	F ₂	2.40	10.7	1.0	3.48
	ADDITION OF CATIONIC FRAGMENTS	Fluorescence	F ₂	4.07	10.7	0.6	5.01
	ADDITION OF POLYMERIZATION FRAGMENTS	Fluorescence	F ₂	1.11	1.9	0.3	3.70
	ADDITION OF CATIONIC FRAGMENTS	Fluorescence	F ₂	0.27	0.5	0.1	1.4
	ADDITION OF POLYMERIZATION FRAGMENTS	Fluorescence	F ₂	0.84	1.5	0.3	2.83
	ADDITION OF CATIONIC FRAGMENTS	Fluorescence	F ₂	1.04	4.1	0.7	2.73

THE D'ACARE
225 MEMORIAL DR.
BERLIN, WI 54923

THE DACHAU
MEDICAL CENTER
BERLIN ED ADDITION



ThedaCare.



NOT FOR CONSTRUCTION

[illegible]

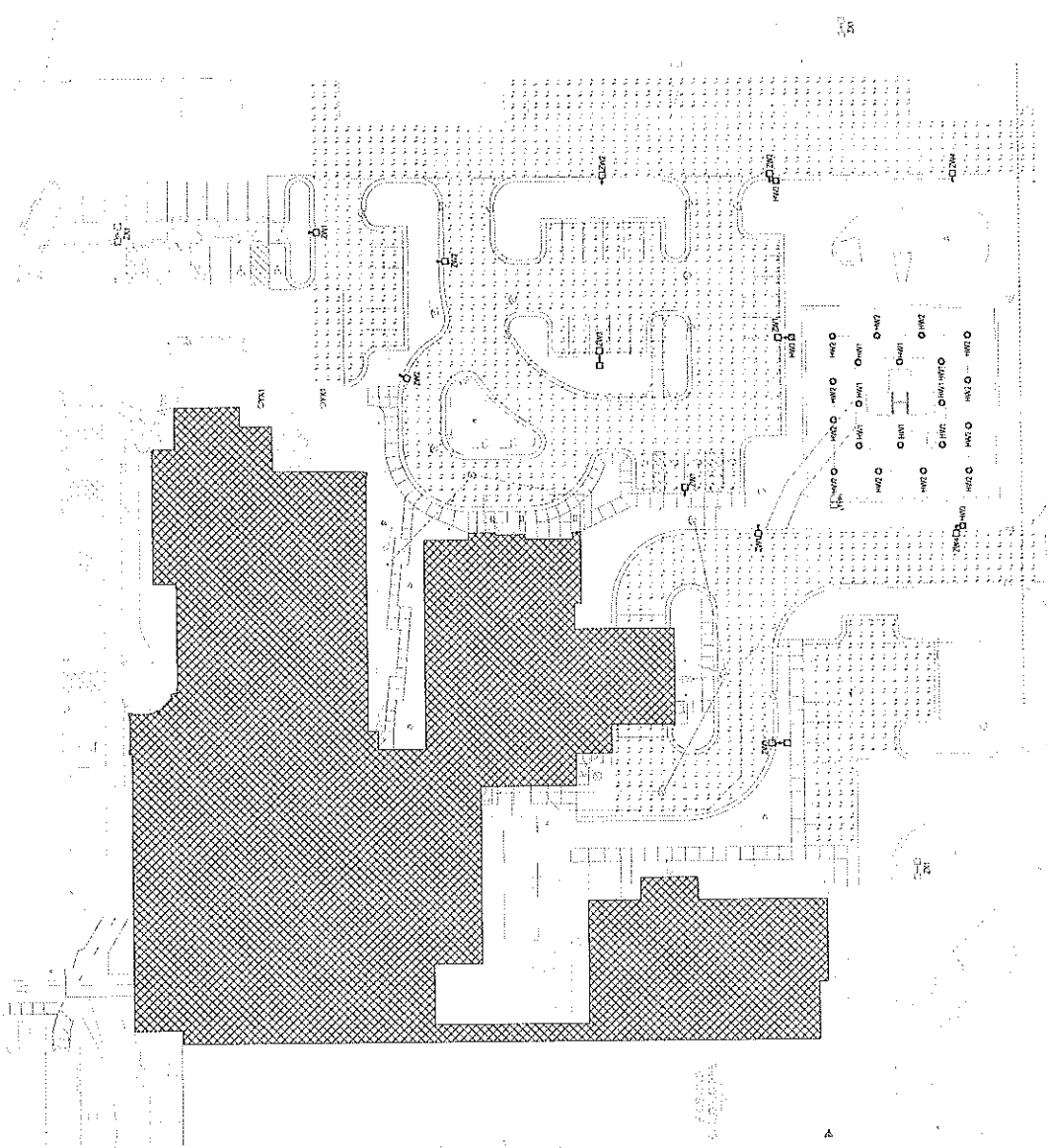
HAU (mL H ₂ O/g dry wt)	1750-7500
HQA ND	

LIGHTING
PHOTOMETRIC
PLAN

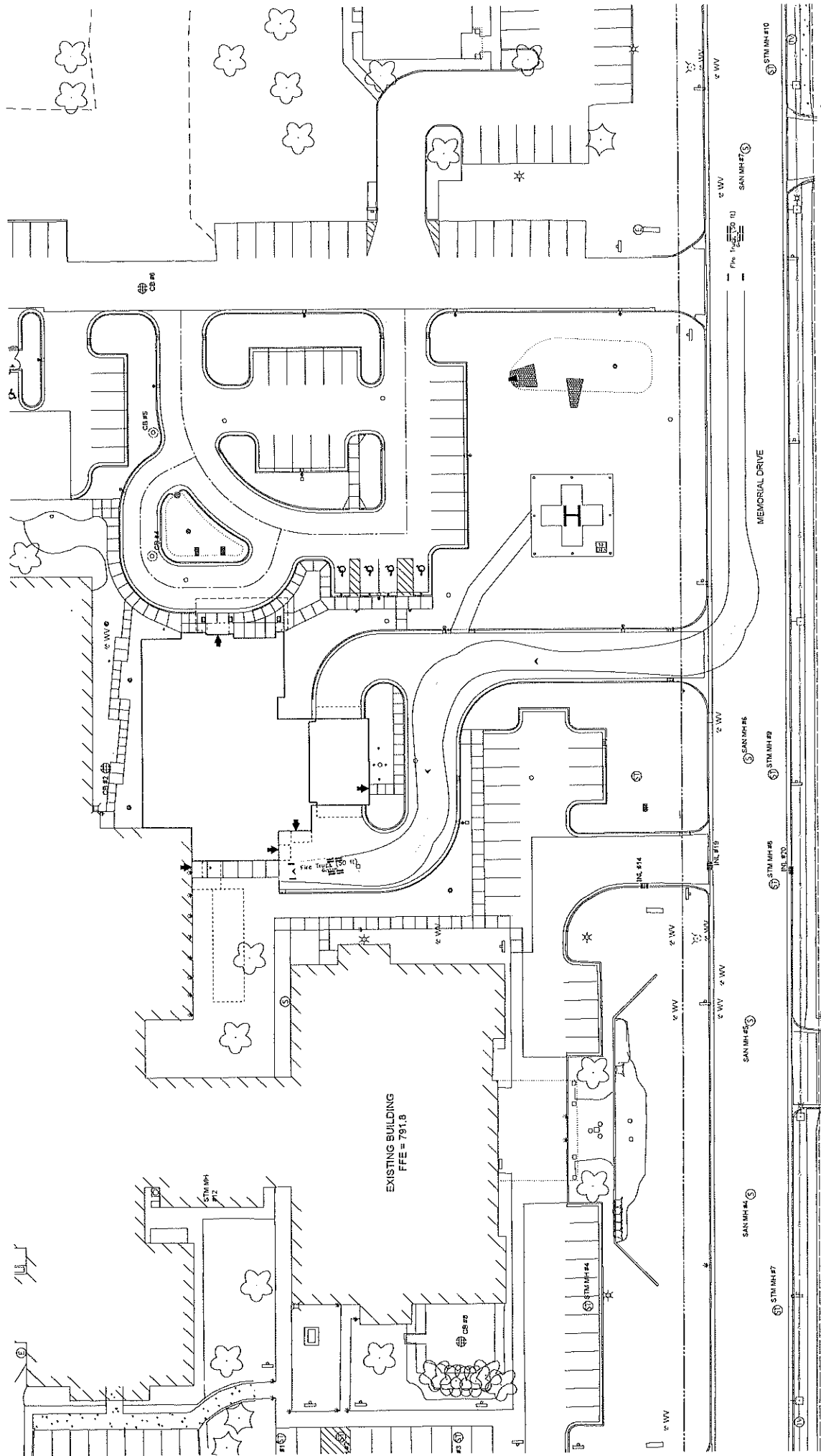
DATE May 15, 2020

E030.1

See BRIGHT MAMMEL BREEV AND ARI EMBLISON, INC.



! LIGHTING SITE PLAN - PHOTOMETRICS
26.5 x 14"



Fire Truck (50-11)	1.1
Fire Truck (50-12)	1.2
Fire Truck (50-13)	1.3
Fire Truck (50-14)	1.4
Fire Truck (50-15)	1.5
Fire Truck (50-16)	1.6
Fire Truck (50-17)	1.7
Fire Truck (50-18)	1.8
Fire Truck (50-19)	1.9
Fire Truck (50-20)	2.0
Fire Truck (50-21)	2.1
Fire Truck (50-22)	2.2
Fire Truck (50-23)	2.3
Fire Truck (50-24)	2.4
Fire Truck (50-25)	2.5
Fire Truck (50-26)	2.6
Fire Truck (50-27)	2.7
Fire Truck (50-28)	2.8
Fire Truck (50-29)	2.9
Fire Truck (50-30)	3.0
Fire Truck (50-31)	3.1
Fire Truck (50-32)	3.2
Fire Truck (50-33)	3.3
Fire Truck (50-34)	3.4
Fire Truck (50-35)	3.5
Fire Truck (50-36)	3.6
Fire Truck (50-37)	3.7
Fire Truck (50-38)	3.8
Fire Truck (50-39)	3.9
Fire Truck (50-40)	4.0
Fire Truck (50-41)	4.1
Fire Truck (50-42)	4.2
Fire Truck (50-43)	4.3
Fire Truck (50-44)	4.4
Fire Truck (50-45)	4.5
Fire Truck (50-46)	4.6
Fire Truck (50-47)	4.7
Fire Truck (50-48)	4.8
Fire Truck (50-49)	4.9
Fire Truck (50-50)	5.0
Fire Truck (50-51)	5.1
Fire Truck (50-52)	5.2
Fire Truck (50-53)	5.3
Fire Truck (50-54)	5.4
Fire Truck (50-55)	5.5
Fire Truck (50-56)	5.6
Fire Truck (50-57)	5.7
Fire Truck (50-58)	5.8
Fire Truck (50-59)	5.9
Fire Truck (50-60)	6.0
Fire Truck (50-61)	6.1
Fire Truck (50-62)	6.2
Fire Truck (50-63)	6.3
Fire Truck (50-64)	6.4
Fire Truck (50-65)	6.5
Fire Truck (50-66)	6.6
Fire Truck (50-67)	6.7
Fire Truck (50-68)	6.8
Fire Truck (50-69)	6.9
Fire Truck (50-70)	7.0
Fire Truck (50-71)	7.1
Fire Truck (50-72)	7.2
Fire Truck (50-73)	7.3
Fire Truck (50-74)	7.4
Fire Truck (50-75)	7.5
Fire Truck (50-76)	7.6
Fire Truck (50-77)	7.7
Fire Truck (50-78)	7.8
Fire Truck (50-79)	7.9
Fire Truck (50-80)	8.0
Fire Truck (50-81)	8.1
Fire Truck (50-82)	8.2
Fire Truck (50-83)	8.3
Fire Truck (50-84)	8.4
Fire Truck (50-85)	8.5
Fire Truck (50-86)	8.6
Fire Truck (50-87)	8.7
Fire Truck (50-88)	8.8
Fire Truck (50-89)	8.9
Fire Truck (50-90)	9.0
Fire Truck (50-91)	9.1
Fire Truck (50-92)	9.2
Fire Truck (50-93)	9.3
Fire Truck (50-94)	9.4
Fire Truck (50-95)	9.5
Fire Truck (50-96)	9.6
Fire Truck (50-97)	9.7
Fire Truck (50-98)	9.8
Fire Truck (50-99)	9.9
Fire Truck (50-100)	10.0

To: Plan Commission

From: Lindsey Kemnitz

Subject: Discuss CSM and Official Street Map for Kettle Street

Background:

This proposed CSM identified land to be dedicated to the City for additional right of way (ROW) for Kettle Street. Per the City Subdivision code, it is required for the road to be up to city standards before dedicating it to the City. Currently Kettle Street is on the official city street map. According to the proposed CSM the Kettle Street is 50 feet wide by 297 feet. Staff has been conducting research to determine if any portion of Kettle Street was dedicated to the City. Staff has found conflicting information regarding the official dedication of Kettle Street. Attached are several documents with the information. To the south there is a street that is not named and we are uncertain about dedication to the City as well. The proposed CSM is reducing the lots from three to two. Lot 1 and 2 do not have proper frontage on City Street according to the City subdivision ordinance.

Were these two streets considered more of a private driveway for access to the rear rather than Public Street?

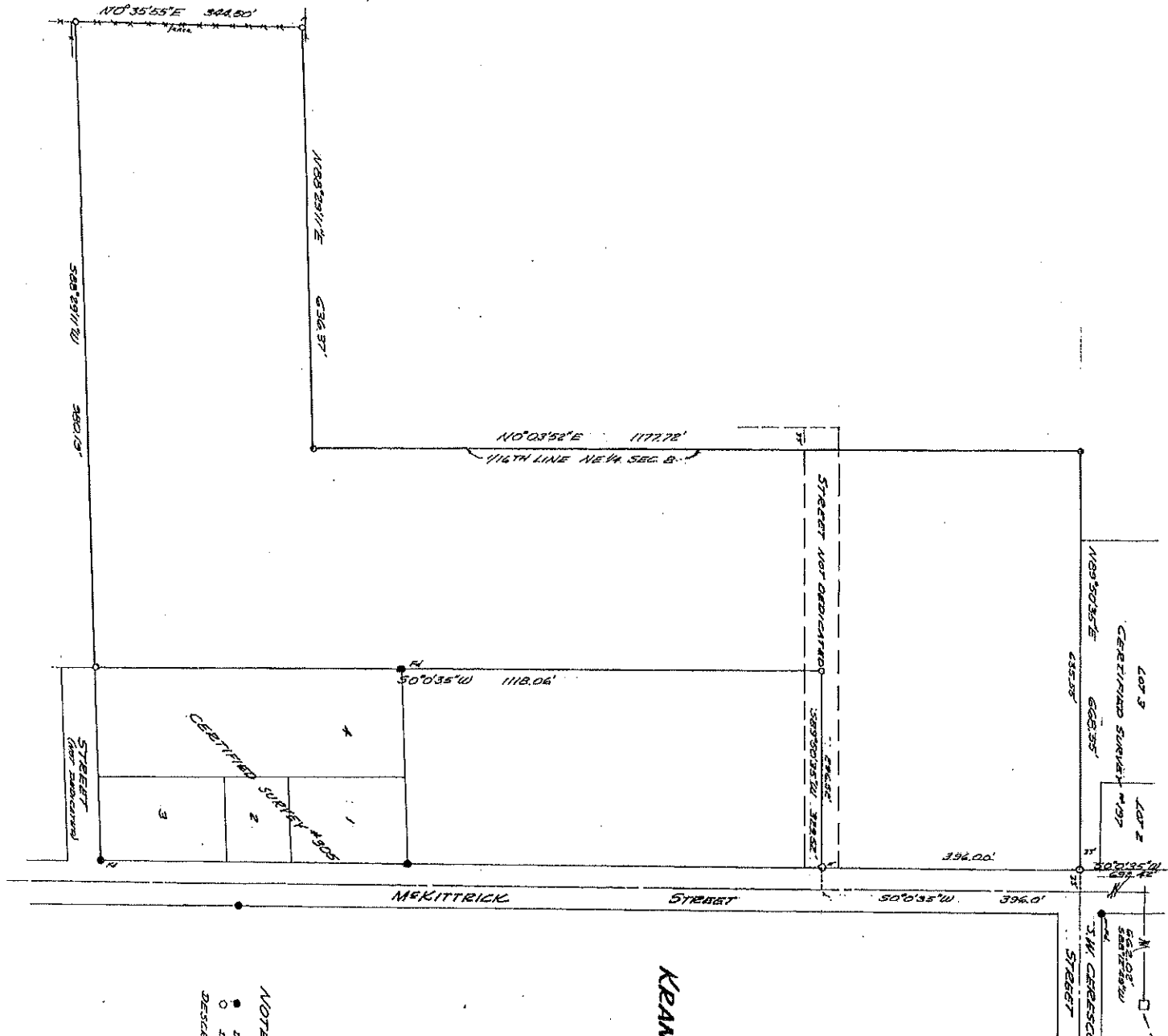
[illegible]

PART OF LOT 1 OF CERTIFIED SURVEY MAP 2420,
AND PART OF THE NORTHEAST 1/4 OF THE
NORTHEAST 1/4, PART OF THE SOUTHEAST 1/4 OF
THE NORTHEAST 1/4, AND PART OF THE
SOUTHWEST 1/4 OF THE NORTHEAST 1/4, ALL IN
SECTION 8, TOWNSHIP 17 NORTH, RANGE 13 EAST,
CITY OF BERLIN, GREEN LAKE COUNTY, WISCONSIN.

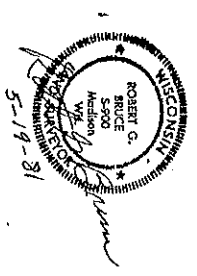
[illegible]

m.e.

PROJECT NO. 0-2414-001
FILE 2414001CSM SHEET 1 OF 3
This instrument was drafted by: DSL



KEAMP CONSTRUCTION CO
BOUNDARY SURVEY
BERLIN, WIS.



GREEN LAKE SURVEYING CO.
506 MILL ST
GREEN LAKE, WIS.
294-6666

NOTES:

- DIMENSIONS FROM STAKES PLACED
- DIMENSIONS " " PLACED
- DESCRIPTION TYPED ON SEPARATE SHEET

114-5
1

JOB: 81-1-62

SCALE: 1"=100'

COUNTY SURVEYOR'S OFFICE
FLT 04106
DATED 1981

SECTION 8 - 17 - 13



CSN3640

RECORDED ON:
12/14/2017 01:00PM

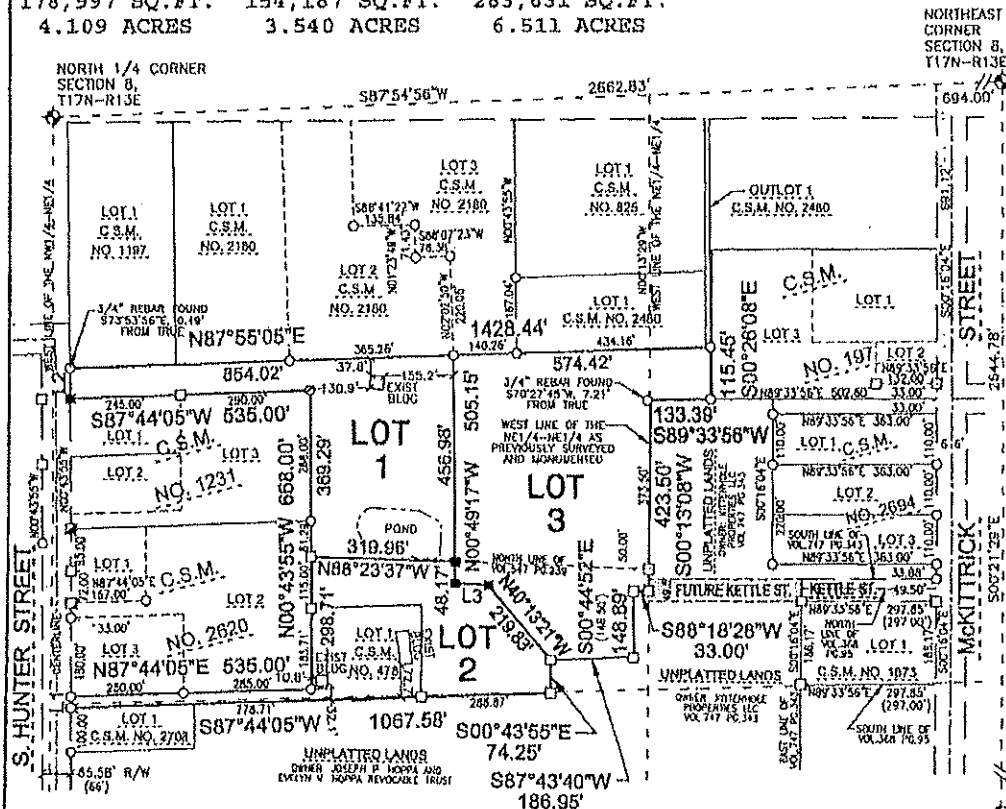
REC FEE: \$30.00

VOL. 21 OF CSM PG. 3640

SARAH GUENTHER
REGISTER OF DEEDS
GREEN LAKE, WI
TRANSFER FEE:

CERTIFIED SURVEY MAP NO. 3640
ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 478, AND
PART OF THE NORTHEAST 1/4, SOUTHWEST 1/4 AND
NORTHWEST 1/4 OF THE NORTHEAST 1/4,
SECTION 8, TOWNSHIP 17 NORTH, RANGE 13 EAST,
CITY OF BERLIN, GREEN LAKE COUNTY, WISCONSIN.

LOT 1 AREA LOT 2 AREA LOT 3 AREA
178,997 SQ. FT. 154,187 SQ. FT. 283,631 SQ. FT.
4.109 ACRES 3.540 ACRES 6.511 ACRES



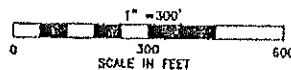
NOTE:
LOT 3 IS NOT BUILDABLE UNTIL
SUCH TIME THAT IT IS PROVIDED
WITH DIRECT VEHICULAR ACCESS
TO A PUBLIC STREET.

LINE TABLE

LINE	BEARING	DISTANCE
L1	N00°43'55"W	25.00'
L2	N00°43'55"W	68.83'
L3	N87°19'37"W	72.95'

EAST 1/4
CORNER
SECTION 8,
T17N-R13E

BEARINGS ARE REFERENCED TO THE
GREEN LAKE COUNTY COORDINATE SYSTEM



LEGEND

- 1" O.D. IRON PIPE SET, 18" LONG,
WEIGHING 1.15 LBS. PER LINEAL FOOT
- 1" O.D. IRON PIPE FOUND
- 2" O.D. IRON PIPE FOUND
- 3/4" O.D. REBAR FOUND
- ◆ GOVERNMENT CORNER
- P.O.B. POINT OF BEGINNING

Martenson & Eisele, Inc.

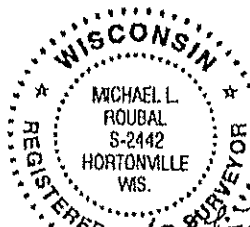
1377 Midway Road
Menasha, WI 54952
www.martenson-eisele.com
info@martenson-eisele.com
920.731.0381 1.800.238.0381

Planning
Environmental
Surveying
Engineering
Architecture

SURVEY FOR:
JERRY WICK
216 S. HUNTER STREET
BERLIN, WI 54923

PROJECT NO. 0-2220-001

FILE 0-2220-001.csm.dwg SHEET 1 OF 4
THIS INSTRUMENT WAS DRAFTED BY: A. Seidler



12-8-17

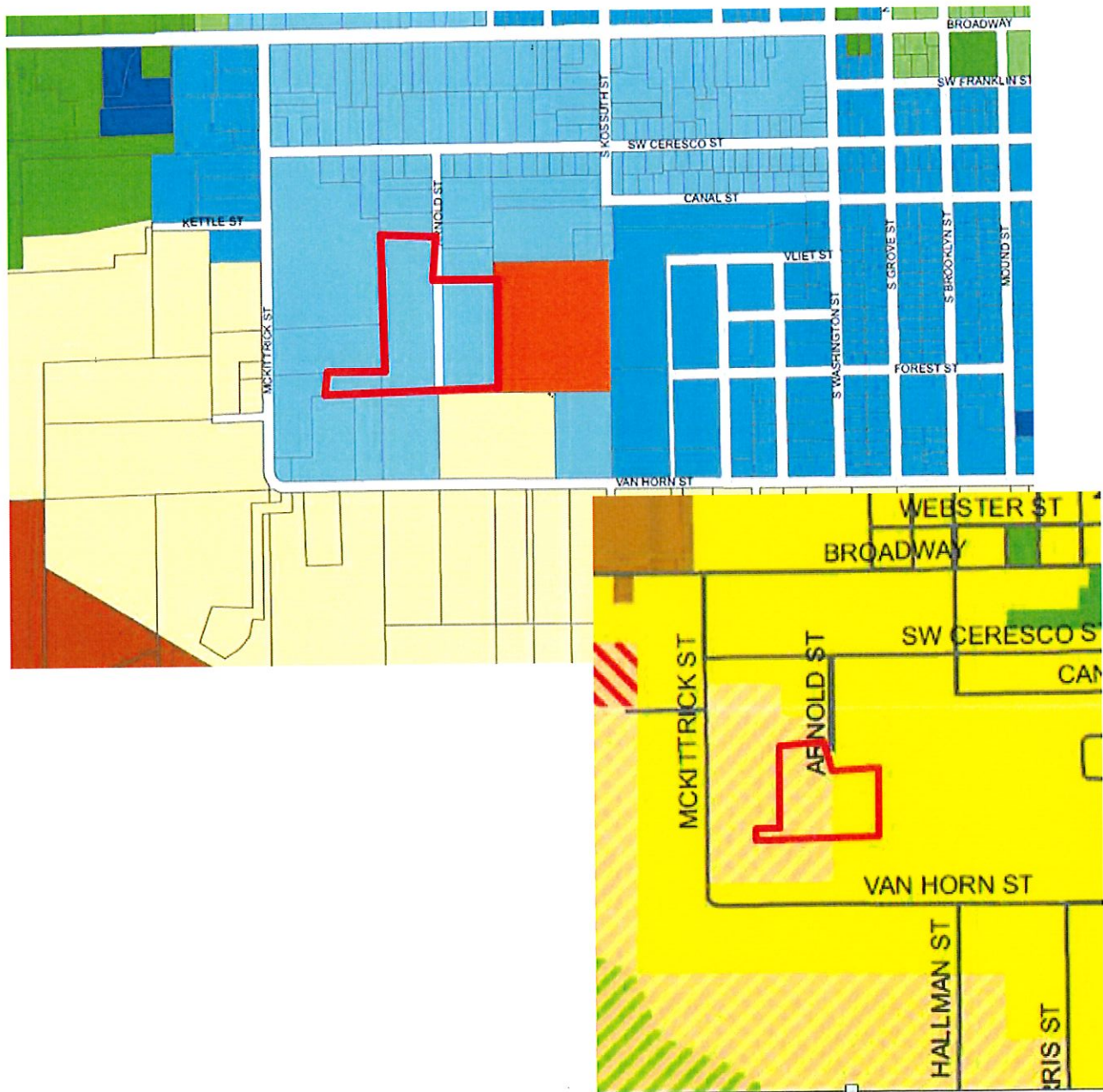
To: Plan Commission

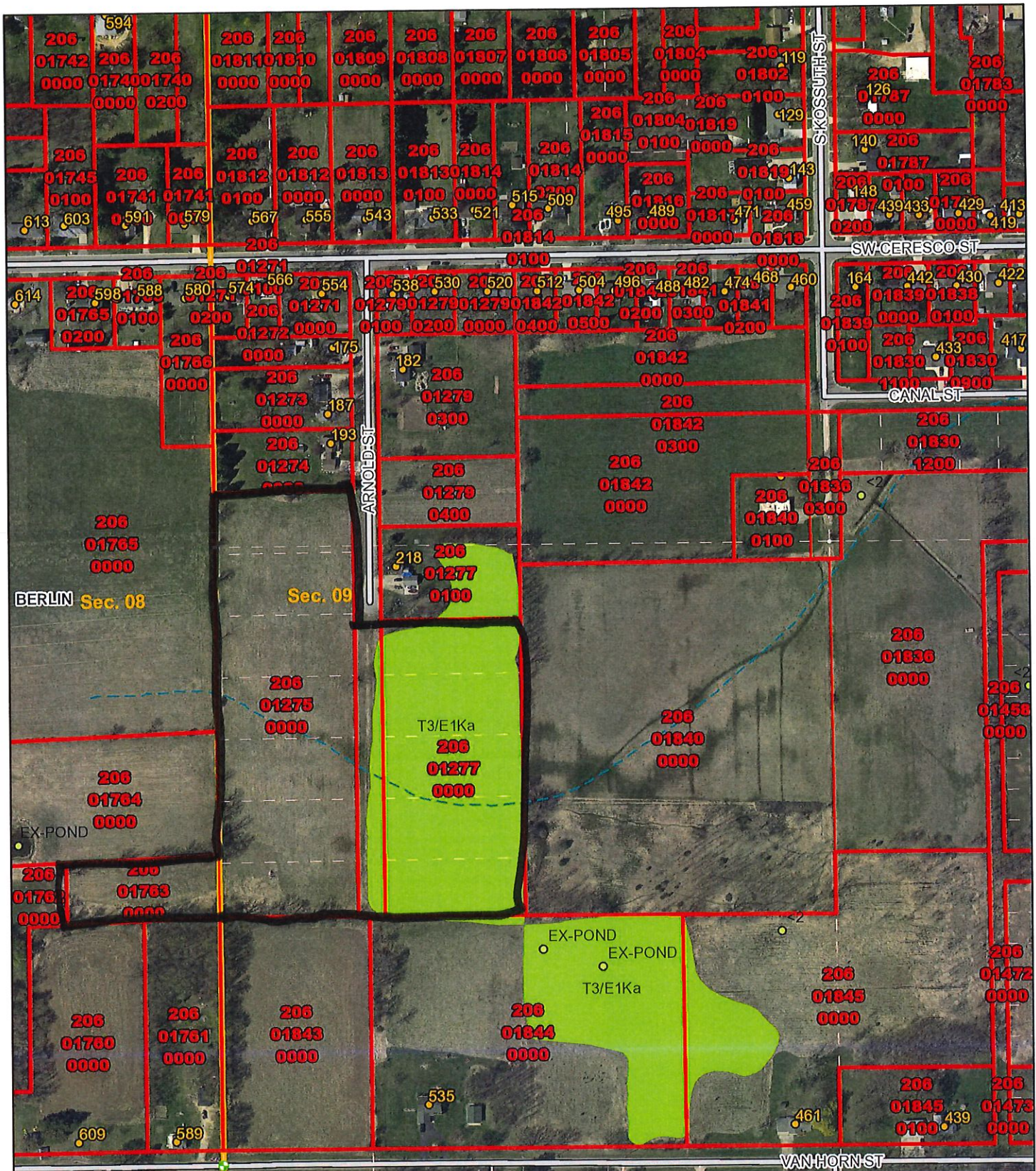
From: Lindsey Kemnitz

Subject: Rezone Request for parcel 206-01275-0000, 206-01277-0000, and 206-01763-0000 from R-1 to A-1.

Background:

The property owner of the three parcels above is requesting the property to be zoned to A-1 from R-1. Currently the parcels are vacant land. The parcel on the east side of Arnold Street is identified as a wetland per DNR and is not buildable, attached is the map. Currently there are no utilities that extend down to the three lots. The future land use map identifies the whole area to be used for residential use; currently it shows only the western section as agricultural/ vacant.





1 inch = 293 feet



Geographic Information System (GIS)
<https://gis.co.green-lake.wi.us/>

GIS Viewer Map

Green Lake County, WI

Time: 11:59:40 AM
 Date: 6/25/2020

Note:



**CITY OF BERLIN
REQUEST FOR ZONING CHANGE**

CITY OF BERLIN

or

EXTRATERRITORIAL ZONING JURISDICTION

We KC Stewart

(name)

of W1397 County Rd V, Berlin WI

(mailing address)

hereby request the Plan Commission to recommend to the Common Council of the City of Berlin the approval of a change to the Zoning Code/Zoning Map of the City of Berlin pursuant to Chapter 82 the Municipal Code.

Rezoned from R-1 to A-1

(District Classification)

(District Classification)

Legal Description: Parcel 200-01275-0000, 200-01277-000, 200-01743-0000
Arnolds Add Lots 8, 9, 10, 11, 12, 13 + 14 Blk A

Reason for request: My intent is to have a workshop (900-1200 sq. ft.), a single family residence, a greenhouse and a pond.

Lot Size 6

Present Improvements (Structures etc.) on Lot: Ø

Adjacent Property Zoning (N) R-1 (S) R-1/A-1 (E) R-1 (W) R-1

Such proposed zoning change would be compatible with the character of the neighborhood because:

The 6 acre parcel in question is surrounded on 3 sides by undeveloped land including 4 acres of DNR mapped wetland.

6/19/2020
Date Filed

Kathryn C. Stewart
Petitioner/Agent

Rezoning Fee \$300.00 - Fee must accompany this appeal payable to the City of Berlin

FOR OFFICE USE ONLY

Meeting advertised _____ Date of Commission Meeting _____

Commission Recommendation Approve / Deny

Special Conditions:

Council Decision Approve / Deny Date _____

Special Conditions:

To: Plan Commission

From: Lindsey Kemnitz

Subject: Proposed Chicken Ordinance Amendments

Background:

This ordinance amendment was a recommendation from a citizen in the community that currently has a chicken permit. This request was presented to City Council and the Council directed Attorney Chier to draft an ordinance amendment. The ordinance amendment needs to be reviewed by Plan Commission and recommended to the Common Council.

AN ORDINANCE AMENDING CODE RELATING TO KEEPING OF CHICKENS IN
RESIDENTIAL DISTRICTS

WHEREAS, the City of Berlin Plan Commission has held a public hearing regarding the ordinance as set forth herein, on [insert applicable date]; and

Comment [MC1]: Will be inserted when date available.

WHEREAS, the Plan Commission has recommended to the Common Council to approve the ordinance as set forth herein.

NOW THEREFORE, the Common Council of the City of Berlin do ordain as follows:

Sec 10-21 of the Code of Ordinances shall be amended as follows:

Sec. 10-21. - Proper shelter.

(c) *Outdoor standards.* Minimum outdoor standards of shelter shall include:

(2) Shelter shall be provided from inclement weather as follows:

c. If a chicken enclosure is outdoors, at a minimum, the enclosure shall:

1. Be enclosed, predator-proof, insulated, and adequately ventilated;

(d) *Space standards.* Minimum space requirements for both indoor and outdoor animal enclosures shall include:

(3) Chicken enclosures shall measure ~~have~~ a minimum floor area of the greater of, (i) seven square feet in-area, or (ii) a total area amount calculated at the rate of three square feet in-area per standard chicken and two square feet per bantam chicken, whichever is greater, with one nest box provided per every ~~two~~four chickens.

Sec 82-286 of the Code of Ordinances shall be amended as follows:

Sec. 82-286. - Use regulations.

The R-1 residential district is intended to provide for single-family residential development and to protect such areas from the encroachment of incompatible uses. The following uses shall be permitted in the R-1 district:

Comment [MC2]: Just so everyone is aware, all we have to do is update the R-1 District use regulations, because all uses allowed in an R-1 are also allowed in R-2 and R-3. Therefore, that is why you are not also seeing any amendments to the R-2 and R-3 sections of the code.

(8) In the city limits and with a license granted under section 10-7(d), keeping

Page 1 of 2

of up to a maximum of 18 chickens per lot, consisting of up to a maximum of
sixtwelve mature hens, consisting of up to a maximum of ten standard sized
mature hens (as opposed to bantam sized hens) chickens per lot. For
purposes of this subsection, "chickens" shall have the meaning set forth
in section 10-2.

This ordinance shall take effect the day after publication.

The numeric section numbers and headings of any portions of the Code of Ordinances
affected by this Ordinance shall be subject to modification in the discretion of the codifier, and
the approval of the City Attorney, during codification into the City's current Code of Ordinances.

Passed, approved and adopted this ____ day of _____, 20__.

ROLL CALL VOTE:

CITY OF BERLIN

____ AYES
____ NAYS
____ ABSENT

BY: _____
Richard D. Schramer, Mayor

APPROVED AS TO FORM:

ATTEST: _____
Jodie Olson, City Clerk

Matthew G. Chier, City Attorney

Comment [MC3]: So that everyone understands this, first remember that the definition of "chicken" means hens and pullets. A pullet is a non-mature hen. The request from Andi requested an increase to 12 standard mature hens or 10 bantam (miniature) mature hens. She didn't say what should happen in the event of a combination, so I took the liberty of just allowing 12 maximum, with a maximum of 10 standard sized, meaning you can have 10 standard sized plus two more bantams. Please let me know if that is OK. Also, the total maximum of 18 chickens allows for up to 6 additional pullets to be purchased, beyond the mature hens. Andi simply requested that we allow some "extra chicks" to be purchased to allow proper rotation due to having to pull the males out once sex is able to be determined after sufficient maturity. I picked 18 because it is divisible by 6, and according to my understanding chicks are commonly sold in 6 packs at Tractor Supply in Berlin. However, this is a pretty significant increase, so please make sure everyone is comfortable with this.

To: Plan Commission

From: Lindsey Kemnitz

Subject: Proposed daycare ordinance amendment

Background:

Several months ago the Plan Commission had a request to rezone a residential house to B-1 for the use of daycare center. At that time the Plan Commission discussed requirements such as parking, hours of operations, screening, etc. The Plan Commission asked the applicant why she chose that location. Her reason was due to the limited amount of properties that meet the state requirements for daycare center. Currently only daycares with less than 9 children can be in residential districts and there were limited B-1 or B-2 properties that met the state requirements. Attorney Chier has drafted an ordinance amendment to require a conditional use permit for daycare centers with more than 8 children in residential districts.

Lindsey Kemnitz

From: Brandt, Jamie L - DCF <JamieL.Brandt@wisconsin.gov>
Sent: Monday, June 15, 2020 10:40 AM
To: Lindsey Kemnitz
Subject: Group Child Care Regulations
Attachments: 205.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Lindsey,

I am attaching the most recent copy of the Wisconsin Administrative Code – DCF 251 Licensing Rules for Group Child Care Centers. You will find a lot of information and answers here. Specifically, regarding your questions:

1. Hours of operation: Please take a look at the attached Licensing Rules for Group Child Care Centers:
 - a. Page 3, DCF 251.03(19): Night Care is defined as “any care that is offered by a licensed group child care center between the hours of 10p.m. and 5a.m.”
 - b. Page 5, DCF 251.04(1)(c) states that the hours of a center’s operation may not exceed those specified in the license.
 - c. Page 19, DCF 251.055(1)(e) states that a child may not be in care for more than 14 hours in any 24 hour period.
2. Onsite Parking
 - a. The Department does not have any requirements.
3. Fence:
 - a. Page 26, DCF 251.06(11)(b)7. States that the boundaries of the outdoor play space shall be defined by a permanent enclosure not less than 4 feet high. Fencing, landscaping or plants may be used. The permanent enclosure may not have any open areas that are greater than 4 inches.
4. Additional requirements:
 - a. Please take a look at the attached Licensing Rules for Group Child Care Centers. These rules are the required of all licensed group child care centers.

I hope this information helps. If you need help interpreting rules or have questions about specific rules, please let me know.

Wishing you well,
Jamie L. Brandt
Licensing Specialist
74 South Main Street, Suite 205
Fond du Lac, WI 54935
P: 920.924.4620
F: 920.924.4635
E: JamieL.brandt@wisconsin.gov

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AN ORDINANCE AMENDING THE CITY OF BERLIN ZONING CODE RELATING TO CERTAIN REGULATIONS AFFECTING THE LOCATION AND OPERATION OF ADULT AND CHILD DAY CARE FACILITIES

WHEREAS, the City of Berlin Plan Commission has held a public hearing regarding the ordinance change, as set forth herein, on [insert applicable date]; and

WHEREAS, the Plan Commission recommended to the Common Council the approval of the ordinance change, as set forth herein.

NOW THEREFORE, the Common Council of the City of Berlin do ordain as follows:

Sec. 82-286 of the City of Berlin Code of Ordinances shall be amended as follows:

Sec. 82-286. - Use regulations.

The R-1 residential district is intended to provide for single-family residential development and to protect such areas from the encroachment of incompatible uses. The following uses shall be permitted in the R-1 district:

- ...
- (6) Home occupations, except for adult and child day care facilities
- ...

Sec. 82-287 of the City of Berlin Code of Ordinances shall be amended as follows:

Sec. 82-287. - Conditional uses.

In the R-1 district, conditional uses shall be as follows:

- ...
- (3) Adult and child day care facilities, even if such facilities are home occupations. However, child day care facilities that are not home occupations may only be allowed as a conditional use on lots of one-half acre or more. Also, for child day care facilities, including for those that are home occupations, the common council shall, pursuant to and in addition to any other standards or conditions imposed under Sec. 82-641(b), impose the following standards and conditions:

- (1) All outside areas used as part of the operation of the child day care facility shall be bounded on all sides by an architectural or aesthetic fence of the maximum height permitted under Sec. 82-567.

Comment [MC1]: Will insert when date available.

Comment [MC2]: So that everyone is aware, a "home occupation" is defined in Sec. 82-4 as an occupation or profession carried on by a member of the family residing on the premises, having no display, other than a home occupation sign, which indicates from the exterior of the premises that the building is being utilized, in whole or part, for any purpose other than that of a dwelling; there is kept no stock in trade nor commodity sold upon the premises; no person is employed other than members of the immediate family residing on the premises; no mechanical equipment is used except that which is permissible for purely domestic or household purposes. The occupation or profession shall not occupy more than 50 percent of the floor area of one story of the dwelling; and there shall be no emission of an odor, gas, smoke, dust or noise that will be detrimental to the residential character of the neighborhood.

Comment [MC3]: By adding this exception, all day care facilities, including home occupations, will now require a conditional use permit in residential districts. Existing home occupation day cares will be grandfathered under normal zoning grandfathering rules.

Comment [MC4]: Although I think everyone probably understands this already from our recent discussions about conditional use permits, I wanted to be sure that everyone is aware that Sec. 82-641(a) already sets forth a number of general factors that will apply to the issuance of a CUP for a day care center. That code section reads as follows:

The common council shall consider, among other things, the particular facts and circumstances of each proposed use in terms of the following standards, ... [1]

Comment [MC5]: This is a randomly selected size. All I knew is that there was an expressed desire for a minimum lot size for commercial (non-home occupation) daycares in a residential district. This is open for further discussion and alternate proposals as far as minimum size.

Comment [MC6]: It should be noted that our fence code expressly requires open and lattice type fences only in residential districts. Thus, I know the desire of this restriction in regard to day care centers is to block the view of playground equipment for aesthetic reasons, but our fence code doesn't actually allow complete privacy fencing. This requirement for fencing will provide some blockage, ... [2]

- (2) Operation of the child day care facility shall be limited to 6:00 a.m. to 7:00 p.m. daily.

Comment [MC7]: These are randomly selected times I came up with. This is open for discussion and possible other alternatives.

Sec. 82-312 of the City of Berlin Code of Ordinances shall be amended as follows:

Sec. 82-312. - Conditional uses.

In the R-2 district, conditional uses shall be as follows:

...

- (3) Adult and child day care facilities, even if such facilities are home occupations. However, child day care facilities that are not home occupations may only be allowed as a conditional use on lots of one-half acre or more. Also, for child day care facilities, including for those that are home occupations, the common council shall, pursuant to and in addition to any other standards or conditions imposed under Sec. 82-641(b), impose the following standards and conditions:

- (1) All outside areas used as part of the operation of the child day care facility shall be bounded on all sides by an architectural or aesthetic fence of the maximum height permitted under Sec. 82-567.
- (2) Operation of the child day care facility shall be limited to 6:00 a.m. to 7:00 p.m. daily.

Sec. 82-337 of the City of Berlin Code of Ordinances shall be amended as follows:

Sec. 82-337. - Conditional uses.

In the R-3 district, conditional uses shall be as follows:

...

- (3) Adult and child day care facilities, even if such facilities are home occupations. However, child day care facilities that are not home occupations may only be allowed as a conditional use on lots of one-half acre or more. Also, for child day care facilities, including for those that are home occupations, the common council shall, pursuant to and in addition to any other standards or conditions imposed under Sec. 82-641(b), impose the following standards and conditions:

- (1) All outside areas used as part of the operation of the child day care facility shall be bounded on all sides by an architectural or aesthetic fence of the maximum height permitted under Sec. 82-567.
- (2) Operation of the child day care facility shall be limited to 6:00 a.m. to 7:00 p.m. daily.

Sec. 82-554 of the City of Berlin Code of Ordinances shall be amended as follows:

Sec. 82-554. - Residential use restrictions.

Accessory uses or structures in residential districts within the city shall not involve the conduct of any business, trade or industry, except for home occupations as defined in section 82-4 or as otherwise expressly allowed as a permitted or conditional use. Accessory buildings shall not be used for residential purposes.

Comment [MC8]: This change is necessary to allow the various expressly permitted business type activities to occur in a residential district, such as schools, clinics, and now day care centers.

Sec. 82-682 of the City of Berlin Code of Ordinances shall be amended as follows:

Sec. 82-682. - Off-street parking.

- (d) *Number of stalls.* The number of parking stalls required shall be as shown in the following table:

Use	Minimum Parking Required
Single-family dwellings	1 stall for dwelling unit
Duplex and multifamily dwellings	1.5 stalls for each dwelling unit
Housing for the elderly	0.75 stall for each dwelling unit with one-half of such spaces to be built before occupancy and the balance of such spaces shall be reserved until such time as the city may order them to be installed
Hotels, motels	1 stall for each guest room, plus 1 stall for each employee
Sororities, dormitories, roominghouses and boardinghouses	1 stall for each 2 sleeping rooms, plus 1 stall for each 2 employees
Retirement homes, orphanages, convents and monasteries	1 stall for each 2,000 feet of principal floor area
Hospitals, sanitariums, institutions, rest homes and nursing homes	1 stall for each 3 beds, plus 1 stall for each employee
Medical and dental clinics	5 stalls for each doctor or dentist
Theaters, auditoriums, community centers, sports arenas and other places of public assembly	1 stall for each 5 seats or spaces equal to 20% of the capacity in persons, whichever is greater
Restaurants	1 stall for each 100 square feet of floor area, excluding the kitchen
Bars and places of entertainment	1 stall for each 75 square feet of floor area
Office buildings and professional offices having less than 6,000 square feet of floor area	1 stall for each 150 square feet of floor area
Office buildings and professional offices having 6,000 square feet or more of floor area, banks and savings institutions	1 stall, at least, for each 200 square feet of floor area
Drive-in establishments	1 stall, at least, for each 15 square feet of floor area in the building

Comment [MC9]: I just wanted to point out that the code already provides some special limitations on parking in residential districts, so these types of limitations didn't need to be added as part of this new ordinance. Specifically, Secs. 82-682(b)(2) and (3) provide:

(2) . In R-1 and R-2 districts, if a principal structure on a lot is a dwelling, then off-street parking shall not be allowed in the front yard of that lot, or in the setback areas for the side or rear yards of that lot, except in driveways provided that the driveway conforms to the requirements of chapter 58, article V.

(3) . Off-street parking shall be permitted in all yards and setback areas of lots in districts other than R-1 and R-2, and in R-1 and R-2 districts if a principal structure on the lot is not a dwelling, only after a parking plan for the site has been approved by the plan commission. The plan commission may impose conditions on such approval as reasonably necessary to mitigate negative impacts that the parking may have on neighboring properties or the general public. Such conditions may include, but not be limited to, setbacks, pedestrian and vehicular accessways, fencing, screening, landscaping, and minimum greenspace requirements. Further, no parking space on a lot in any district may be closer than five feet to a lot line, except in driveways provided that the driveway conforms to the requirements of chapter 58, article V.

Manufacturing and processing plants, including meat and food processing, laboratories and warehouses	1 stall for each 2 employees (the number of employees shall be construed to mean the maximum number on the premises at one time)
Libraries, museums, art galleries, etc.	1 stall for each 3 employees, plus 1 stall for each 4 seats, plus 1 stall for each 500 square feet of floor area not having seats
Washing and cleaning establishments	1 stall for each 2 employees, plus 1 stall for each washing machine, or 1 stall for each 200 square feet of floor area, whichever is greater
Funeral homes, mortuaries and similar uses	1 stall for each 50 square feet of floor area in parlors or assembly rooms
Retail stores	1 stall for each 200 square feet of floor area
Other business and commercial uses	1 stall for each 300 square feet of floor area
Churches and other places of religious assembly	1 stall for each 5 seats, or 1 stall for each 90 lineal inches of pew space
Cartage, express and parcel delivery, freight terminals	1 stall for each 2 employees on the largest shift for which the building is designed, plus 1 stall for each motor vehicle maintained on the premises
Elementary and junior high schools	2 stalls for each classroom, plus 1 stall for each 8 seats in the auditoriums or assembly halls
High schools, colleges, universities and other institutions of higher learning	1 stall for each 6 students, plus 1 stall for each teacher, administrator and employee
Business, technical and trade schools	1 stall for each 5 students, plus 1 stall for each 2 employees
Motor vehicle sales, new and used	1 stall for each 500 square feet of floor area used, plus 1 stall for each 300 square feet of outdoor display area for each motor vehicle to be displayed, not including service garages
Retail repair or service shops(nonautomotive)	1 stall for each 150 square feet of net floor space
Automobile repair garages and service stations	1 stall for each 2 employees, plus 2 stalls for each service bay
Bowling alleys	4 stalls for each alley, plus additional spaces for affiliate uses
Adult and child day care facilities	1 stall for each 10 adults or children able to be cared for at the facility

Comment [MC10]: This 1 in 10 ratio is a random number that I came up with. Elementary schools are comparable, but the requirement is expressed as 2 stalls per classroom, which doesn't apply to daycares. Since neither the adults or children being cared for at a daycare facility will be driving, I didn't see a need for a lot of parking spaces. However, this is certainly open to discussion and a different proposed ratio if desired.

Sec. 82-800 of the City of Berlin Code of Ordinances shall be amended as follows:

Sec. 82-800 - Permitted signs rules.

- (b) *Guide to Figure 82-800a* . If the letter "Y" appears for a sign type in a column, such sign is allowed without prior permit approval in the zoning districts represented by that column. If the letter "P" appears for a sign type in a column, such sign is allowed only with prior permit approval in the zoning districts represented by that column. If the letter "C" appears for a sign type in a column, such sign is allowed only with

conditional use permit approval in the zoning districts represented by that column. Special conditions may apply in some cases. If the letter "N" appears for a sign type in a column, such a sign is not allowed in the zoning districts represented by that column under any circumstances.

- (3) *Key to Figure 82-800a and Figure 82-800b*. Figure 82-800a and Figure 82-800b, the headings have the following meanings:

Abbreviations Used in Figures 82-800a and 82- 800b on the following page.	Zoning Districts or Uses
A	A-1 Agricultural District, <u>Chapter 82</u> , Article II, Division 4 and A-2 Farmland Preservation District, <u>Chapter 82</u> , Article II, Division 5
B	B-1 Business District, <u>Chapter 82</u> , Article II, Division 9 and B-2 Business District, <u>Chapter 82</u> , Article II, Division 10
C	C-1 Conservancy District, <u>Chapter 82</u> , Article II, Division 2 and C-2 Conservancy District, <u>Chapter 82</u> , Article II, Division 3
INS	Institutional Uses. "Institutional Uses" shall mean, but shall not be limited to, public parks and playgrounds, schools, <u>adult and child day care centers which are not home occupations</u> , churches, convents, libraries, hospitals, clinics, nursing homes, assisted living facilities, museums, and adaptive reuses of churches. For clarity, "Institutional Uses" shall not mean single and two-family dwellings or bed and breakfast establishments.
M	M-1 Light Manufacturing District, <u>Chapter 82</u> , Article II, Division 11, M-2 Medium Manufacturing District, <u>Chapter 82</u> , Article II, Division 12, and M-3 Heavy Manufacturing District, <u>Chapter 82</u> , Article II, Division 13
PUD	PUD Planned Unit Development District, <u>Chapter</u>

Comment [MC11]: This addition is to allow the same type of signage that is allowed for schools, churches, etc. to be allowed for day care centers in residential districts.

Abbreviations Used in Figures 82-800a and 82- 800b on the following page.	Zoning Districts or Uses
	<u>82, Article II, Division 15</u>
R1-2	R-1 Residential District, <u>Chapter 82, Article II, Division 6</u> and R-2 Residential District, <u>Chapter 82, Article II, Division 7</u>
R-3	R-3 Residential District, <u>Chapter 82, Article II, Division 8</u>
R-MH	R-MH Manufactured Home District, <u>Chapter 82, Article II, Division 14</u>

This ordinance shall take effect the day after publication.

The numeric section numbers and headings of any portions of the Code of Ordinances affected by this Ordinance shall be subject to modification in the discretion of the codifier, and the approval of the City Attorney, during codification into the City's current Code of Ordinances.

Passed, approved and adopted this ____ day of _____, 2020.

ROLL CALL VOTE:

CITY OF BERLIN

____ AYES
____ NAYS
____ ABSENT

BY: _____
Richard D. Schramer, Mayor

APPROVED AS TO FORM:

ATTEST: _____
Jodie Olson, City Clerk

Matthew G. Chier, City Attorney

Although I think everyone probably understands this already from our recent discussions about conditional use permits, I wanted to be sure that everyone is aware that Sec. 82-641(a) already sets forth a number of general factors that will apply to the issuance of a CUP for a day care center. That code section reads as follows:

The common council shall consider, among other things, the particular facts and circumstances of each proposed use in terms of the following standards, and shall find adequate evidence that such use on the proposed location will:

- (1) Be designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the area.
- (2) Not be hazardous or disturbing to existing or future neighboring uses.
- (3) Not be detrimental to property in the immediate vicinity or to the community as a whole.
- (4) Be adequately served by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal and schools, or that the persons or agencies responsible for the establishment of the proposed use shall be able to adequately provide any such service.
- (5) Have vehicular approaches to the property which shall be designed not to create interference with traffic on surrounding public streets, alleys, roads or sidewalks.
- (6) Not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.
- (7) Not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- (8) Not violate state or federal floodplain or wetland areas.

It should be noted that our fence code expressly requires open and lattice type fences only in residential districts. Thus, I know the desire of this restriction in regard to day care centers is to block the view of playground equipment for aesthetic reasons, but our fence code doesn't actually allow complete privacy fencing. This requirement for fencing will provide some blockage, but I just want everyone to be aware that it will not require complete privacy blockage from the view of the play equipment.